

**PLEASANT PRAIRIE PLAN COMMISSION MEETING  
VILLAGE HALL AUDITORIUM  
9915 39<sup>th</sup> AVENUE  
PLEASANT PRAIRIE, WISCONSIN  
6:00 P.M.  
JUNE 22, 2015**

**AGENDA**

1. Call to Order.
2. Roll Call.
3. Consider the minutes of the May 26, 2015 Plan Commission meetings.
4. Correspondence.
5. Citizen Comments.
6. New Business.
  - A. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Bob Poch, agent for Care Animal Hospital to construct an 11,021 square foot veterinary office on the vacant property generally located on the north side of Prairie Ridge Blvd. west of 88<sup>th</sup> Avenue within the Prairie Ridge development.
  - B. Consider the request of David Galowich, agent on behalf of the owners SB1 Pleasant Prairie, WI LLC for approval of a **Certified Survey Map** to subdivide the property generally located on the north side of Prairie Ridge Blvd. west of 88<sup>th</sup> Avenue within the Prairie Ridge development.
  - C. **PUBLIC HEARING AND CONSIDERATION OF SEVERAL ZONING TEXT AMENDMENTS** including amendments to Section 420-22 related to zoning permits required, time limits for zoning and sign permits; Section 420-24 related to certificate of occupancy; Section 420-64 related to approval or denial of a sign permit; Section 420-65 related to issuance of a sign permit and Section 420-69 related to the duration of a sign permit.
7. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

**The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39<sup>th</sup> Avenue, Pleasant Prairie, WI (262) 694-1400.**

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME  
HOWEVER SEPARATE ACTION IS REQUIRED.**

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**Recommendation:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Conceptual Plan** subject to the comments and conditions of the Village Staff Report of June 22, 2015.

- B. Consider the request of David Galowich, agent on behalf of the owners SB1 Pleasant Prairie, WI LLC for approval of a **Certified Survey Map** to subdivide the property generally located on the north side of Prairie Ridge Blvd. west of 88<sup>th</sup> Avenue within the Prairie Ridge development.

**Recommendation:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to the comments and conditions of the Village Staff Report of June 22, 2015.

## VILLAGE STAFF REPORT OF JUNE 22, 2015

**CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Bob Poch, agent for Care Animal Hospital to construct an 11,021 square foot veterinary office on the vacant property generally located on the north side of Prairie Ridge Blvd. west of 88<sup>th</sup> Avenue within the Prairie Ridge development.

Consider the request of David Galowich, agent on behalf of the owners SB1 Pleasant Prairie, WI LLC for approval of a **Certified Survey Map** to subdivide the property generally located on the north side of Prairie Ridge Blvd. west of 88<sup>th</sup> Avenue within the Prairie Ridge development.

### **THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME HOWEVER SEPARATE ACTION IS REQUIRED.**

*The petitioners are requesting to subdivide the property generally located on the north side of Prairie Ridge Blvd. west of 88<sup>th</sup> Avenue within the Prairie Ridge development into two (2) Lots 2 and approval of a Conceptual Plan for the development of the of Lot 1 for a veterinary clinic.*

**2013 Conceptual Plan:** On September 16, 2013, the Village Board approved a Conceptual Plan to subdivide Outlot 17 of the Prairie Ridge Subdivision into four (4) lots and approved CSM 2744, which subdivided Outlot 17 into 2 parcels. The property at the southeastern portion of the 2013 Conceptual Plan is proposed to be created by a new CSM and developed with a veterinary clinic. The CSM and the Conceptual Plan (attached) will be discussed further below. The Conceptual Plan submitted and discussed below generally conforms to the 2013 Conceptual Plans, with the exception of the cross access location. (The Outlot 17 Prairie Ridge Conceptual Plan will need to be modified to depict the Care Animal Hospital site layout).

The wetlands on the site were re-delineated by Wetland and Waterway Consultants on September 2, 2011 and are located within Dedicated Wetland Preservation and Protection, Access and Maintenance Easements and will be located on the new lot being created. If development does not occur within five (5) years from date of the ACOE approval which would be March 29, 2017, then a new wetland staking will be required prior to development of the property.

**Certified Survey Map:** The Certified Survey Map is proposed to create two lots pursuant to the Master Conceptual Plan.

- Lot 1 is proposed to be 2.161 acres with over 350 feet of frontage of Prairie Ridge Blvd. This lot is proposed to be developed with a veterinary clinic.
- Lot 2 is proposed to be 4.880 acres with over 400 feet of frontage on Prairie Ridge Blvd. and over 550 feet of frontage on 91<sup>st</sup> Avenue.

**Conceptual Plan:** The petitioner is proposing to construct an 11,800 square foot veterinary clinic on Lot 1 of the proposed CSM. This veterinary clinic, referred to as Care Animal Hospital, is proposing to relocate from their existing location on the north side of Highway 50 in the Village to a new larger facility. The existing business activity will be similar to Care Animal's existing location. Care Animal Hospital treats dogs, cats and exotic pets, and offers from routine preventative care to orthopedic surgery by four (4) veterinarians. The new facility will include a dog exercise area that is about 300 to 400 square feet and it will be under-roof. Further explanation is required regarding this exercise

area, since the intent is unclear on the plans.

There will be no pet cremation on site. Animals that die will be refrigerated and picked up by a removal company.

The clinic is proposed to operate Monday – Friday from 8:00 a.m. to 7:00 p.m. and Saturdays from 8:00 a.m. to 2:00 p.m. The Care Animal Hospital is proposed to be open for emergency services up to 24-hours per day only on an on-call basis.

The number of employees anticipated is 20 working various shifts throughout the day. It is anticipated that there would be between 128 and 160 customer visits per day and one (1) to two (2) truck deliveries per day. The facility is proposed to open in the fall of 2017.

Pursuant to the Village Zoning Ordinance, the minimum required parking spaces for a veterinary clinic is four (4) spaces for every doctor (4 doctors x 4 =16), plus one (1) space for every employee (20 employees), plus the required handicapped accessible parking spaces as required by the State Code (3 parking spaces). The minimum required number of parking spaces required is 39 parking spaces which include the 3 handicapped accessible spaces. The plans provide for 71 parking spaces (including 3 handicapped accessible parking spaces). The parking provided exceeds the minimum parking requirements of the zoning ordinance.

Storm water management for the site is provided for at the ponds located to the northwest and southwest of the intersection of Prairie Ridge Boulevard and 88<sup>th</sup> Avenue. Storm water from the proposed building and east parking lot shall be conveyed by a new storm sewer to the northwest pond and storm water piping from the west parking lot shall be connected up to the catch basin located 235' west of the east property line. (The storm sewer shown on the plans is a 4" drain tile and is not to be used for storm water conveyance).

Detailed Site and Operational Plans and a Conditional Use Permit will be required to be submitted for the Village's approval. In addition, a Zoning Text Amendment (PUD) will be required to allow for dimensional modifications of the Zoning Ordinance including:

- a 10 foot setback to the required 20 foot side setback for east parking lot,
- a 5 foot setback to the required 25 foot setback for the parking lot to the wetlands, and
- a 10 foot setback from the required 25 foot building setback to wetlands for the building expansion area.

The developer/owner is providing full building sprinklers and will be installing a Digital Security Imaging System (DSIS) pursuant to Chapter 410 of the Village Municipal Code as part of the required community benefits being provided to the Village. The specific PUD will be prepared by the Village staff and reviewed by the Village Plan Commission at the time of that the Site and Operational Plans/Conditional Use Permit is submitted to the Village.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to conditionally approve the **Conceptual Plan** subject to the above comments and the following conditions:

1. The Conceptual Plan approval will be valid for a period of one (1) year. Prior to the expiration of the Conceptual Plan, the developer will be required to submit applications and required documents for the following approvals: Site and Operational Plan with a Conditional Use Permit and Zoning Text Amendment to create a specific PUD for the development for the following:
  - a 10 foot setback to the required 20 foot side setback for east parking lot,
  - a 5 foot setback to the required 25 foot setback for the parking lot to the wetlands, and

- a 10 foot setback from the required 25 foot building setback to wetlands for the building expansion area.
2. Detailed Site and Operational Plans are required to be submitted for review and approval prior to any permits being issued for the development pursuant to Article IX of the Village Zoning Ordinance. In addition, a Conditional Use Permit will be required for the proposed veterinary clinic. This is a joint application to be filed.
  3. The Conceptual Plans were reviewed for compliance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all State and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and detailed engineering plans are prepared and reviewed. **The following changes shall be made and incorporated into the required Site and Operational Plans.**
    - a. Include a Location Map.
    - b. Provide the parcel size in acres and square feet.
    - c. The Sheet Index information at the upper right corner of Sheet C1-0 shall list all five (5) plan sheets included in the submittal.
    - d. Include the following zoning designations on the Plans. The developable/non-wetland portion of the property is zoned B-2 (PUD), Community Business District with a Planned Unit Development Overlay. The wetland portion of the property is zoned C-1, Lowland Resource Conservancy District.
    - e. Under Zoning Information remove the note per Jean's email – a PUD will need to be approved by the Village Board to address dimensional variations.
    - f. Label the abutting parcels with ownership and tax parcel number information.
    - g. The B-2 District and parking regulations require a minimum 25 foot wetland setback. The plan shall depict and dimension the 25 foot wetland setback line. Portions of the west parking lot and the future 2,450 sq. ft. building expansion do not meet the 25 foot wetland setback requirement. Any building addition or parking lot/driveway must meet a minimum of 10 foot setback to the wetlands.
    - h. The wetland shall be labeled with the delineation information, i.e. the entity that performed the delineation, the date of the delineation and the WIDNR concurrence information. The wetland may need to be re-delineated if permits are not obtained and work does not commence prior to the 5 year wetland delineation approval date of March 29, 2017.
    - i. Add setbacks for building and paved surfaces to the property lines.
    - j. The plans shall be revised to ensure that all setbacks proposed to be included in the PUD are being met.
    - k. A Cross Access and Maintenance Easement for vehicles and/or pedestrian to allow travel between the properties to the north and west are required. In addition to showing the Easement on the CSM, a separate Easement document shall be prepared by the developer/owner, reviewed and approved by the Village and recorded at the Register of Deeds office. At a minimum such easement shall include a legal description, its specific use and

maintenance responsibilities. A copy of the Easement shall be provided to the Village.

- l. The new facility will include a dog exercise area that is about 300 to 400 square feet and it will be under-roof. Further explanation is required regarding this exercise area, since the intent is unclear on the plans.
- m. Dimension the narrowest width of the semi-circular drive located at the front entrance to the building.
- n. Label the right-of-way width of Prairie Ridge Boulevard (100').
- o. Show the location of the existing easternmost St. Anne's Church Prairie Ridge Boulevard driveway.
- p. Any repairs/replacement to the existing Prairie Ridge Boulevard sidewalk and the Prairie Ridge Boulevard street trees will be the responsibility of this (abutting) property owner, at the property owner's expense.
- q. The plans shall show the location of the existing public sidewalk in Prairie Ridge Boulevard.
- r. A sidewalk shall connect the exit door back patio to the east parking lot.
- s. To facilitate pedestrian movement and walkability, the Plans shall show a minimum 5' wide concrete sidewalk connection to the facility from the existing Prairie Ridge Boulevard public sidewalk.
- t. The existing 5' wide concrete public sidewalk in Prairie Ridge Boulevard shall be the dominant improvement when traversing the private driveway entrances. In other words, the concrete sidewalk shall cross-thru the paved driveways.
- u. The sidewalk shall provide the same height as curb would on the south end of the main parking lot. No curb stops or wheel stops shall be installed.
- v. Relocate the electric transformer to the north end of the east parking lot.
- w. All bollards shall be painted or sleeved to match the building – brown or tan.
- x. Details of the dumpster enclosures shall be provided on the Site and Operational Plans. The dumpster enclosures shall be constructed of the same brick, block or stone materials as the building and be attached to the building. The doors shall provide complete screening for the garbage dumpsters and recycling. Detached garbage enclosures are not allowed. A wooden fence enclosure is not allowed. Sample materials, doors and paint colors of the dumpster enclosures shall be submitted for review and approval.
- y. Is any fencing proposed? If so, show the location and details.
- z. Storm water management for the site is provided for at the ponds located to the northwest and southwest of the intersection of Prairie Ridge Boulevard and 88<sup>th</sup> Avenue. Storm water from the proposed building and east parking lot shall be conveyed by a new storm sewer to the northwest pond and storm water piping from the west parking lot shall be connected up to the catch basin located 235' west of the east property line. The storm sewer shown on the plans is a 4" drain tile and is not to be used for storm water conveyance. See **attached** as-built storm sewer plans.
- aa. Verify all existing public utilities are shown correctly (i.e. storm, water, sanitary etc.). Record drawings for the public utilities are **attached** for

- general reference. The design engineer shall field survey the actual utility locations.
- bb. Show the existing sidewalk, curb and gutter, street trees, and median on Prairie Ridge Boulevard. The existing driveway aprons shown on the plans do not exist.
  - cc. The plans do not include existing or proposed topographic information. The adjacent pond shall be shown on the plans. Does the future drive extension located at the northwest corner work with the existing topography?
  - dd. There is an existing electrical transformer on the property located near the west entrance that shall be shown on the plan. The electrical pedestal that is shown on the plan appears to be further west. Is this a different transformer or proposed relocation?
  - ee. A curb cut does not currently exist for eastern driveway entrance. Curb and gutter for the driveway shall be removed and replaced with 30-inch Type D curb and gutter with the curb head removed.
  - ff. Curb ramps are to be installed at the driveways.
  - gg. Additional detail shall be provided for the site grading and storm water collection system.
  - hh. All commercial buildings will be required to install a sanitary sewer sampling manhole pursuant to the Village specifications. The location and details shall be shown on the Site and Operational Plans required for each site. Contact the Village & Rescue Department will need to review site access. Current layout does not appear to meet the 30-foot wide access requirements.
  - ii. Approval from the Fire & Rescue Department shall be obtained for fire hydrant locations and fire suppression system design.
  - jj. The following items are currently not included and / or shown on the plans and will need to be provided for a detailed engineering design review as part of the required Site and Operational Plans.
    - i. Cover sheet.
    - ii. Detail sheet.
    - iii. Erosion control / grading plans.
    - iv. Sanitary sewer and water main plans.
    - v. Storm sewer plans.
    - vi. Photometric plan.
    - vii. Landscaping Plan
  - kk. The following comments relate to landscaping and shall be included as part of the Site and Operational Plans:
    - i. All landscaped areas will be required to be irrigated with a sprinkler system. The base map for these landscape plans shall include the approved grading plan. In addition, the location of all pedestals and transformers and proposed screening shall be shown on the Plans.
    - ii. The public street trees (and the type) shall be identified on the Landscape Plan. Existing street trees will need to be pruned and all missing or dead street trees will need to be replaced staked, placed mulch beds.

- iii. Landscaping and parking lot islands will be required pursuant to the Village Ordinance requirements. In particular, landscaping between parking areas and roadways shall comply with Section 420-57 J (2) (d) of the Village Zoning Ordinance that states "*Parking lots associated with manufacturing, business or institutional uses shall be screened from public rights-of-way and/or residential zoning districts located within 50 feet of such parking lots; such screening shall be installed in close proximity to the parking lot and shall be 75% opaque to a height of at least four (4) feet above the grade of the nearest edge of such parking lot within three (3) years of installation and may consist of shrubs and trees, an appropriately landscaped undulating berm...*".
- II. The following comments relate to signage and shall be included on the Site and Operational Plans:
- i. A primary monument sign. Secondary entrance signs (entry monument signs) at the shared access locations may be allowed. All signage shall conform to the provisions of the PUD Ordinance and all general requirements of the Village Sign Ordinance (Chapter 420 Article X) unless specifically allowed in the PUD.
  - ii. Dimension the setback distance of the proposed monument sign to the Prairie Ridge Boulevard right-of-way line. Ordinance requires a minimum 15 foot sign setback.
  - iii. Provide details for monument sign – maximum height is 6 feet. Must have a 5 foot landscaping area around the sign.
  - iv. Primary Monument Signage shall include the street address of the convenience store building, including the street number(s) and the name of the street (letters and numerals shall be at least 3 inches in height and at least 18 inches above the surface of the ground). The address may be placed on the base of the sign (where it will not count toward the maximum area of the sign display).
  - v. Provide informational, directional and accessible signage details.
  - vi. Show any signage is proposed for the building.
- mm. All parking lot signage shall utilize attractive black ornamental poles for all signage, including handicapped accessible signage. No u-channel poles for any site signs.
- nn. Attractive address numerals shall be placed on the building.
- oo. The following comments related to the required Photometric Plan to be submitted with the Site and Operational Plans:
- i. The photometric site lighting plan shall include details of the light standards and fixtures.
  - ii. Parking lot light standards shall be the same color as the bollards with a maximum height of 20 feet.
  - iii. Concrete bases shall not exceed 18 inches above grade and shall be located in landscape island areas.
- pp. All downspouts shall be directly interconnected at grade to the private underground storm water system. Show on the plans.



- qq. Upon review of the limited plans submitted, the Fire & Rescue have the following concerns as specified in the **attached** June 12, 2015 memorandum: we have the following concerns:
- i. The building shall be equipped with a fire sprinkler system, a fire alarm system and recessed Knox Boxes. The combination water main feeding the building will need to be sized by a WI Licensed Fire Sprinkler Designer. These items will need further review once more detailed plans are submitted.
  - ii. AED. Because of the type of occupancy the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee and customer use in the event of a sudden cardiac arrest. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.
  - iii. Fire Alarm Control Panel: The main FACP will be placed in the fire riser room. Remote annunciator panel location(s) will also need to be determined during the pre-construction meeting.
  - iv. Both the fire department sprinkler connection and the fire hydrant, (pumper pad), shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The location should be moved to the north in the area of the loading zone.
  - v. Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.
  - vi. All driveway entrances off of Prairie Ridge Blvd and future driveway extensions shall be 30 feet wide.
  - vii. Severe Weather Shelter: The architect shall identify the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. That area will be identified with signage.
  - viii. All outside doors must have access to the interior. Such as a lock and handle provided at each door.
- rr. It is recommended that all exits and entrances are numbered, inside and outside, beginning in the front of the building and moving in a clockwise fashion around the building. The numbering system allows for easy identification of where first responders are needed or the location of a safe entry point.
4. The medical/drug storage area within the building shall be monitored by cameras and kept in a locked cabinet.
  5. General boarding or cremation services shall not be provided at this location.
  6. Building architectural designs, elevations and sample materials will be required to be approved by the Plan Commission as part of the detailed Site and Operational Plans.
  7. All easements shall be shown on the required Site and Operational Plans submitted for review and approval as each lot is proposed to be developed.

8. Each handicapped parking space shall be appropriately signed (locations to be reviewed with planning staff) and painted on the pavement (same color for all development) pursuant to ADA requirements prior to occupancy of any development site.
9. All exterior transformers, mechanical units, antennae and/or satellite dishes, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
10. Site and Operational Plans will be required to be approved by the Prairie Ridge Commercial Owners Association. Written approval shall be submitted to the Village prior to issuance of building permits.
11. Impact fees shall be paid prior to issuance of the building permit. (Currently based upon \$1.94 per \$1,000 of valuation as determined by the Village Assessing Department).
12. There shall be no parking of any vehicles on 91<sup>st</sup> Avenue or Prairie Ridge Blvd.
13. During construction, the contractors will be required to park on-site or make arrangements for other off-site parking.
14. Airport Height Overlay District approval shall be obtained from the City of Kenosha prior to the issuance of Village building and zoning permits.
15. The site shall provide a Digital Security Imaging System (DSIS) pursuant to Chapter 410 of the Village Municipal Code.
16. After footings and foundations are installed and prior to framing or construction of walls, an as-built survey stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building setbacks have been met.
17. All required landscaping and screening for the buildings and signage shall be installed prior to occupancy of any building. A written letter verification and certification shall be provided to the Village by the landscape designer that all building and signage landscaping has been installed in accordance with the approved landscape plan prior to the issuance of a certificate of compliance/occupancy. However, if weather conditions prevent installation of all or portions of the landscape materials, the developer, owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
18. Prior to written occupancy three (3) copies of an as-built plan, stamped by a Wisconsin Registered Land Surveyor shall be submitted to the Village to verify that required building, above ground structures and all impervious surfaces meet the minimum setbacks and that all signage and pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans. In addition, written certification from the signage companies that the signage was installed pursuant to the approved Site and Operational Plans shall be submitted.

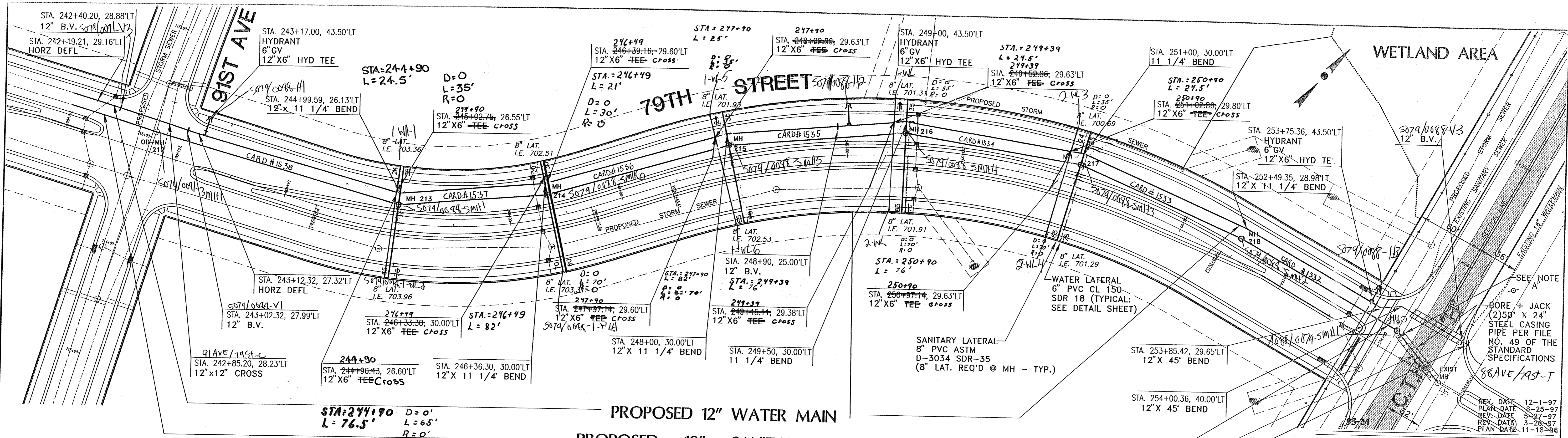
19. Prior to written occupancy an as-built record drawing of graphical data of all private sewer, water, and storm sewer facilities and underground irrigation systems installed shall be provided to the Village for the Village to update the Village's Geographic Informational System. Information shall conform to the Village's electronic format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.
20. No site within the development shall be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/ dismantled/unlicensed vehicles that are parked overnight will be issued citations.
21. Real Estate Marketing Signs and/or Temporary Development Signs are permitted only by permit pursuant to the requirements of Article X of Chapter 420.
22. At no time shall any site within the development be used to sell or advertise any vehicles that are "for sale".
23. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
24. There shall be no outside banners, strings of pennants, signs placed in the ground, flag pennants, flags, inflatable devices or streamers affixed or attached to the building(s), fencing, light poles, ground or landscaping, etc. within the Development. Special event and grand opening signs are permitted by Ordinance with permit.
25. There shall be no semi-truck/trailer, delivery trucks or commercial box truck or commercial van parking permitted on the site within the Development, except temporarily, for routine deliveries.
26. There shall be no outdoor storage or display of materials, goods or equipment on any site, within the Development unless as approved by the Village.
27. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.
28. No trucks, trailers or cars shall be parked in a manner that would constitute advertising for the business on the properties.
29. No sign walkers – persons with costumes or signs strapped, hung, affixed or over their clothes shall walk the properties or public right-of-ways for extended periods of time advertising the businesses, sales or special offers of the service or retail businesses.
30. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
31. Municipal connection fees shall be paid prior to the connections of each building to the sanitary sewer system.
32. This development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
33. All Village fees incurred by the Village Engineer, Village Inspectors and/or expert Assistants/Consultants/Attorneys required by the Village throughout the

development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

34. All Village fees incurred by the Village Community Development Department and/or expert Assistants/Consultants/Attorneys required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.

**Item B: Recommendation:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Certified Survey Map subject to the following conditions:

1. The **attached** changes to be made to the CSM.
2. The CSM shall include full easement for shared access driveway.
3. Dedication and Easement Provisions for the CSM shall include the following dedications:
  - a. Dedicated Cross Access and Maintenance Easement (extending north in the eastern corner of the site and along the western side of the site);
  - b. Dedicated Wetland Preservation and Protection, Access and Maintenance Easement;
  - c. Dedicated 12' Utility, Access and Maintenance Easements
  - d. Dedicated 13' Planting and Landscape Easement and Restricted Planting, Landscape and Vehicle Non-Access Area
  - e. Dedicated Public Street
4. Restrictions and Covenants shall be shown on the CSM which include provisions pertaining to:
  - a. Street tree planting and maintenance
  - b. Driveway cross access and maintenance
  - c. DSIS access and maintenance
  - d. Wetland preservation and protection maintenance
5. Abandonment of the Wetland Access Easement shall be shown on the CSM.
6. If the wetland needs to be re-delineated, the wetland and parcel line information on the CSM will need to be changed accordingly.
7. Any outstanding taxes or special assessments shall be paid prior to recording the CSM. According to the Village Finance Department. Pursuant to the Village records there are taxes of \$8,126.88 due by July 31, 2015, on parcel# 91-4-122-081-0131 (the parcel -0134 is split from in 2015). There is also an outstanding STH 50 transportation improvement assessment of \$158,840.30.
8. The CSM shall be finalized, executed and recorded at the Kenosha County Register of Deeds Office and a recorded copy of the CSM shall be provided to the Village within 30 days of Village Board's approval and prior to issuance of building permit.



**Note:**  
Existing underground utility information was obtained from available records. The Engineer makes no guarantee as to the accuracy of this information. Verification to the satisfaction of the Contractor of all underground utilities, whether or not shown on the plans, shall be assumed as a condition of the contract. The Contractor shall notify the Engineer of any discrepancies between location of utilities in the field and locations shown on the plans.

**Note:**  
Contractors shall protect existing sanitary interceptor sewer during construction of new manholes, laterals, rim adjustments, or other related activities. Any Contractor found responsible for causing damage to same shall be required to make complete restoration, per Village requirements.

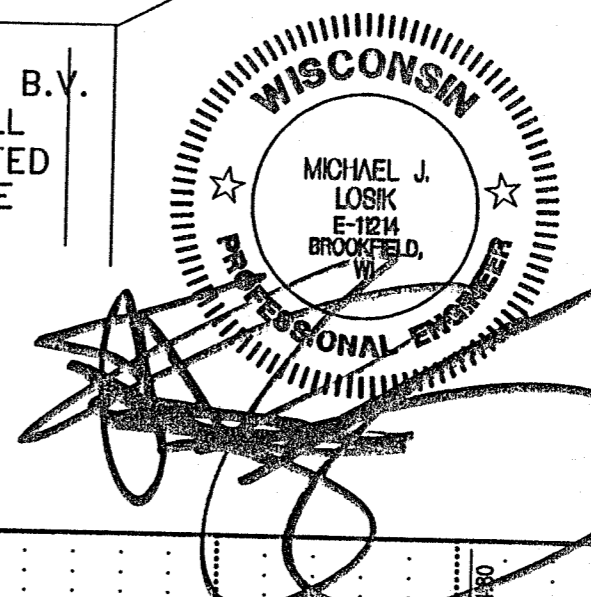
**Water Main Service Legend**  
Sta. = Station of Tap  
L = Length of Service

**Sanitary Sewer Service Legend**  
D = Distance from Downstream Manhole  
L = Length of Lateral  
R = Riser Height

**Contractor is required to contact Diggers Hotline (259-1181) prior to commencing the work.**

**CRISPPELL-SNYDER, INC.**  
CONSULTING ENGINEERS  
UTILITIES REVISED TO CONFORM TO CONSTRUCTION RECORDS  
DATE: BY:

CONNECT 12" TAPPING VALVE W/12" B.V. DO NOT CONNECT UNTIL ALL TESTS HAVE BEEN COMPLETED AND A SAFE WATER SAMPLE HAS BEEN OBTAINED



Michael J. Losk & Assoc., Inc.  
Consulting Engineering  
Land Surveying  
Load Planning

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FAX: (414) 544-0504

**VILLAGE OF PLEASANT PRAIRIE**  
**KENOSHA COUNTY, WISCONSIN**

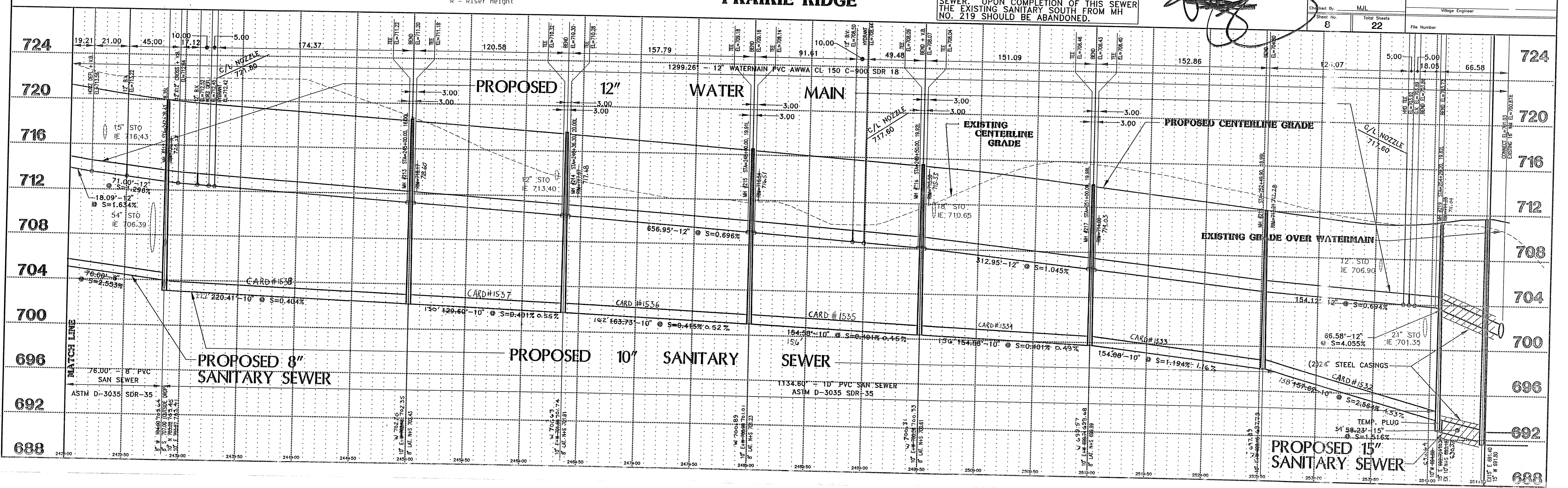
Plan & Profile  
**SANITARY SEWER AND WATER MAIN PLAN**  
FROM: C.T.H. "H"  
TO: 91ST AVENUE

Scale: Horiz. T = 40'  
Vert. T = 4'

Approved: \_\_\_\_\_ Date: \_\_\_\_\_  
Director of Public Works

Checked By: MJL  
Village Engineer

Sheet No. 8 Total Sheets 22 File Number







Office of the  
Chief of Fire & Rescue  
Doug McElmury

## VILLAGE STAFF MEMORANDUM

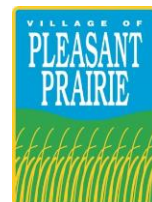
TO: Jean Werbie-Harris, Community Development Director  
FROM: Doug McElmury, Chief Fire & Rescue Department  
CC: Deputy Chief, Craig Roepke  
Lt. Thomas Clark, Fire & Rescue Department  
Peggy Herrick, Assistant Planner, Community Development  
SUBJECT: Review of the Conceptual Plan for Care Animal Hospital  
DATE: 12 June 2015

---

This is the review of the Conceptual Plan for the proposed 11,021 sq. ft. new facility for Care Animal Hospital.

The Fire and Rescue Department will be responsible for providing fire prevention inspections of this facility, twice annually. The concerns of the Fire & Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State and or Village when applicable.



Upon review of the limited plans submitted, we have the following concerns:

- The building will need to be equipped with a fire sprinkler system, a fire alarm system and recessed Knox Boxes. The combination water main feeding the building will need to be sized by a WI Licensed Fire Sprinkler Designer. These items will need further review once more detailed plans are submitted.
- AED. Because of the type of occupancy the owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee and customer use in the event of a sudden cardiac arrest. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- Fire Alarm Control Panel: The main FACP will be placed in the fire riser room. Remote annunciator panel location(s) will also need to be determined during the pre-construction meeting.
- Both the fire department sprinkler connection and the fire hydrant, (pumper pad), shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The location should be moved to the north in the area of the loading zone.
- Fire safety system plans, such as fire sprinkler and fire alarm plans, will need to be submitted to the State of Wisconsin Department of Safety and Professional Services and also to this fire department for review. No installation of any fire protection system is allowed until a satisfactory review is obtained from both departments.
- All driveway entrances off of Prairie Ridge Blvd and future driveway extensions shall be 30 feet wide.
- Severe Weather Shelter: The architect shall identify the area within the building that can be used as a "severe weather shelter" or "safe haven" during severe weather such as a tornado. That area will be identified with signage.
- All outside doors must have access to the interior. Such as a lock and handle provided at each door.

**4. Fire and Rescue Department Review and Comments:**

**A. Site and Operational Permits**

1. Site accessibility
2. Fire Pump Location
3. Pumper Pad
4. Fire hydrant spacing



**B. Conditional Use and Operational**

1. Standpipe outlet locations                      **Not shown at this time.**
2. Fire alarm pull stations                      **Not shown at this time.**
3. Emergency and Exit Lighting                **Not shown at this time.**
4. Fire extinguishers                              **Not shown at this time.**
  
5. **Plan Review, Permits and Fees:** The plans for the fire protection underground, aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
  
6. **Insurance Carrier:** The Owner of this project shall submit to the insurance carrier for review the plans for both underground water distribution and fire protection prior to construction. The Fire & Rescue Department shall receive a copy of the comments when plans are submitted for review.
  
7. **The following information must be submitted with the sprinkler plans for review:**  
Building height:  
Number of stories/floors:  
Mezzanines:  
Elevators:  
Hazard class:  
Commodity:  
Maximum storage height:  
Square footage, office space:  
Square footage, receiving space:  
Square footage, shipping space:  
Square footage, warehouse space:  
Exterior storage:  
Fire protection:
  
8. **The following Fees and Permits are generated directly from the Fire & Rescue Department.**  
**NOTE: Permits are required from the Fire & Rescue Department for the installation of water main in addition to any permits required by other Village of Pleasant Prairie Departments.**
  - Water Usage
  - Fire Protection Plans for Underground and Aboveground
  - Fire Alarm System Plans
  - Kitchen Hood Systems Plans
  - Occupancy Permit & Re-Inspection fees
  
- Permit fees must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.
  
9. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.

10. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire and Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Safety and Professional Services.
11. **Site Access:** Access shall be provided to the site for all Fire Department apparatus, and must comply with the State of Wisconsin and the International Building Code, 2009 edition. A minimum wall-to-wall turning radius of 45'-0" shall be allowed for apparatus movement.
  - a. All entrances from public streets, as well as road and driveways around the proposed building must be a minimum of 30 feet wide.
  - b. All exterior exit pathways as well as access to the Fire Riser Room shall have a hard surface, leading to a hard surface.
  - c. An exterior personnel door shall be located in close proximity to each fire sprinkler riser.
12. **Sprinkler System:** The building shall be equipped with an "automatic fire sprinkler system". The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
13. **Water Service:** If it is determined that the building will be serviced by a combination municipal water and fire protection main, that main must be sized by the fire protection (sprinkler) contractor. No main is allowed to travel underground, under the building.
14. **Plan Review (Underground):** A review of the underground drawings is required along with the fire protection drawings before a permit will be issued by the Fire and Rescue Department. Underground plans shall be submitted a minimum of four (4) weeks before installation begins.
15. **Fire Hydrants:** Fire hydrants shall be spaced no more than 350 feet apart around the perimeter of the building, per Village Ordinance 180-16. The insurance carrier must agree in writing to the hydrant spacing. As many hydrants as possible shall be supplied directly by municipal water. The distance from the finished grade line to the lowest discharge shall be no less than 18 inches and no more than 23 inches. The Fire Department connections shall be located, and of sufficient height where typical snow fall or snow removal operations will not obstruct access.
16. **Fire Hydrant Acceptance:** This project will include the installation of water mains for domestic and fire protection use. Prior to the fire sprinkler system connection to any new water mains (including water mains, fire hydrants, laterals leading to the building and risers) must be hydrostatically tested flushed according to National Fire Protection Association (NFPA-National Fire Code) Standard 24 and witnessed by the Fire Chief and or the Chief's representative, the installing contractor and the fire sprinkler contractor at a minimum.

17. Fire hydrant and water main flushing can be disruptive to the job site and requires significant coordination of all sub-contractors by the General Contractor. Nonetheless flushing is an essential part of assuring public safety.
18. The General Contractor is highly encouraged to coordinate the flushing of all new water mains, fire hydrants, laterals leading to the building and risers with both the sub-contractors responsible, the Village of Pleasant Prairie Engineering Department, Fire & Rescue Department and the Water Utility Department, prior to seeking a 'clean water sample' on this site.

**NOTE:** The Fire Protection Designer must meet with the Fire and Rescue Department before the underground drawings are submitted for review to finalize the placement of the hydrants.

19. **Pumper Pad:** There shall be dedicated space for a fire engine to have unobstructed access to the Pumper Pad. Both the Fire Department Sprinkler connection and the fire hydrant shall be installed remote from the building and located a minimum distance from the building equal to the highest wall. The fire hydrant shall be located no more than five (5) feet from the roadway and the Fire Department sprinkler connection shall be placed no more than five (5) feet from the fire hydrant. The Fire Department connection shall be constructed along with an underground drain with access for inspection. A guideline detail is attached and is meant to illustrate the requirements needed to meet the requirements stated in Village Ordinance 180-16.

*NOTE: The Fire Department Connection riser shall include a single five (5) inch Storz fitting and the Pumper Pad hydrant shall include two 2 ½" NST threaded connections and one 5 inch storz connection.*

20. **Bollards:** Shall be placed near fire hydrants, remote post indicator valves (PIV) and Fire Department connection(s) to prevent damage. Bollards shall be 6 inches in diameter. Bollards shall not obstruct charged fire hoses. It is recommended that the Fire Department approve the location of the bollard(s) before final placement is made.
21. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance.
22. **Fire Alarm System:** **The system shall be fully addressable so that detailed information will be received about the device in alarm.** Utilizing a fire pull station, sprinkler water flow, or any other fire detection device that maybe installed in this building shall activate the internal fire alarm system.
- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
  - b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
  - c. **Smoke and Heat Detection:** Shall be installed as required.
  - d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.

- e. **Fire Alarm Control Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire & Rescue Department. The Fire Alarm Control Panel shall be located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- f. **Annunciator Panel: Shall be addressable.** The annunciator panel type shall be approved by the Fire and Rescue Department. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- g. **Transmission of Fire Alarms.** The method of transmission to central station must be approved by the Fire & Rescue Department. i.e. Phone line, RF Radio and /or Cellular technologies.
- h. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.

- 1) The central station shall be provided with this information regarding the geographical location of this alarm:

Village of Pleasant Prairie, County of Kenosha, State of Wisconsin

Fire: Pleasant Prairie Fire & Rescue

Medical: Pleasant Prairie Fire & Rescue

Phone numbers:

**Emergency: (262) 694-1402**

Non-emergency: (262) 694-7105

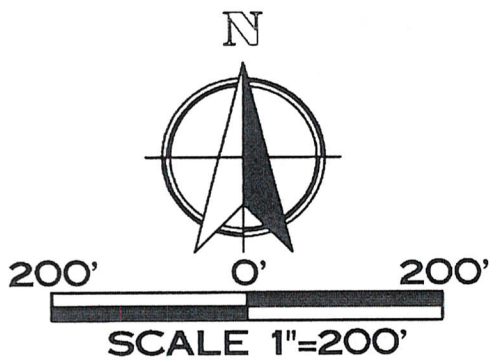
Business: (262) 694-8027

- 23. **Knox Box:** Knox Boxes shall be provided for the building, one by mechanical room door, front (lobby) door. The Knox Boxes shall be flush mounted Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
- 24. **MSDS Knox Box:** A minimum of One (1) Knox Box(s) designed for Material Safety Data Sheet storage shall be provided for each tenant to contain the data sheets on all products that are considered hazardous within the facility. The MSDS Box(s) shall be installed within the Fire Riser Room.
- 25. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire and Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.

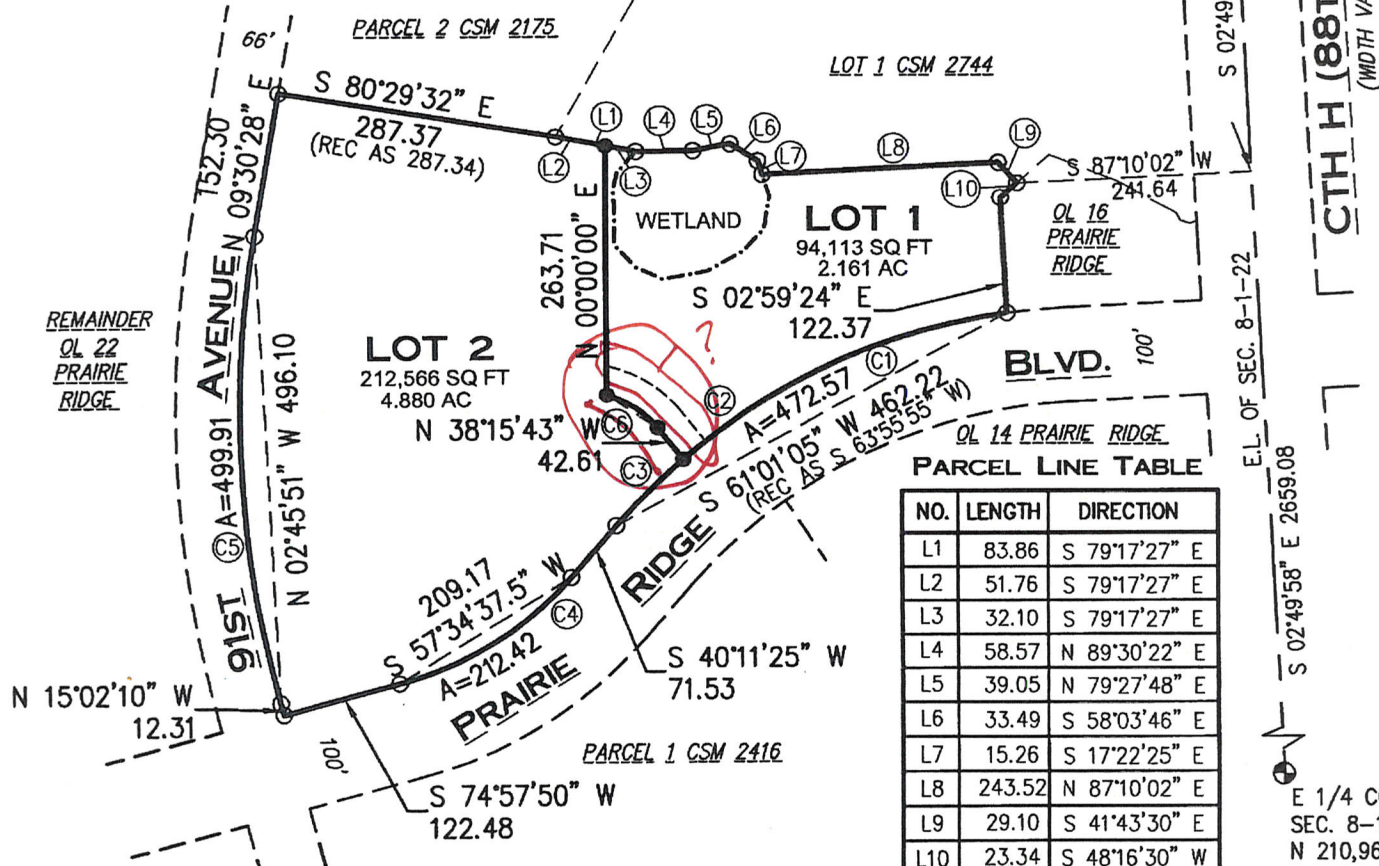
26. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits shall be clearly labeled. An Emergency light shall be placed within the fire riser room.
27. **Final Inspection:** The General Contractor shall provide the following documentation at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is “100% operational and built according to the design”, Village Ordinance, 180-16 N.
  - b. Copy of contract with fire alarm central monitoring station.
  - c. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
  - d. Copies of the fire protection underground flushing documents.
  - e. Copies of the underground and fire sprinkler hydrostatic test certificates.
  - f. Copies of the fire sprinkler operational test certificates.
  - g. Copies of the fire alarm test documents.
  - h. Copies of other test documents such as, hood/duct, smoke, etc...
  - i. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
  - j. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
  - k. Severe Weather Shelter: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado.
  - l. Maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
  - m. AED, in place at such time a tenant takes occupancy.
  - n. A copy of the tenants Emergency Plan must be submitted to the Fire & Rescue Department before occupancy.
28. **Fees:** Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
29. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2744 BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.



NE CORNER  
SEC. 8-1-22  
N 213,620.78  
E 2,561,900.30



E.L. OF SEC. 8-1-22  
S 02°49'58" E 2659.08  
E 1/4 CORNER  
SEC. 8-1-22  
N 210,964.94  
E 2,562,031.71

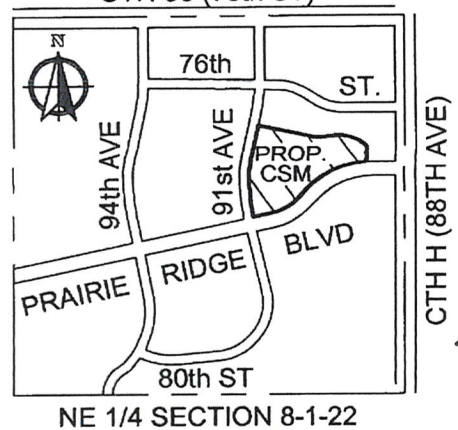
PARCEL LINE TABLE

NO.	LENGTH	DIRECTION
L1	83.86	S 79°17'27" E
L2	51.76	S 79°17'27" E
L3	32.10	S 79°17'27" E
L4	58.57	N 89°30'22" E
L5	39.05	N 79°27'48" E
L6	33.49	S 58°03'46" E
L7	15.26	S 17°22'25" E
L8	243.52	N 87°10'02" E
L9	29.10	S 41°43'30" E
L10	23.34	S 48°16'30" W

CURVE TABLE

NO.	ARC.	RADIUS	CENTRAL ANGLE	CHORD BEARING	CHORD	TANGENT
C1	472.57	650.00	41°39'20"	S 61°01'05" W	462.22	247.27
C2	373.67	650.00	32°56'16"	S 65°22'37" W	368.54	192.15
C3	98.90	650.00	08°43'04"	S 44°32'57" W	98.80	49.54
C4	212.42	350.00	34°46'25"	S 57°34'37.5" W	209.17	109.59
C5	499.91	1167.00	24°32'38"	N 02°45'51" W	496.10	253.85
C6	63.07	100.00	36°08'07"	N 56°19'46" W	62.03	32.62

LOCATION MAP  
STH 50 (75th ST)



NOTES:  
ZONING OF PARCEL IS B-2 AND C-1  
OWNER/LAND DIVIDER: SB1 PLEASANT PRAIRIE WI, LLC  
ADDRESS 591 WEST PUTNAM AVENUE  
GREENWICH, CT 06830  
SURVEYOR: NIELSEN MADSEN & BARBER, S.C.  
1458 HORIZON BLVD. SUITE 200, RACINE, WI 53406



BEARINGS BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE.  
BASED UPON NAD 1927. THE EAST LINE OF SECTION 8-1-22 IS ASSUMED TO BEAR S 02°49'58" E.

LEGEND:  
○ 1" O.D. IRON PIPE FOUND  
● 5/8" O.D. x 18" REBAR - 1.04 LBS/LIN FT. SET  
⊕ 6" CONC. MON. W / BRASS CAP FOUND  
SHEET 1 OF 5 SHEETS

Date: June 9, 2015  
This Instrument was drafted by Mark R. Madsen  
PROJECT ID: 2013.0057.04

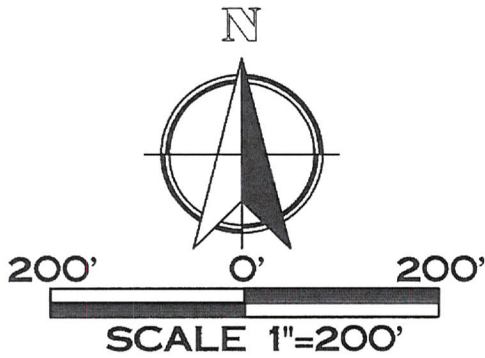
*★ Add all language for easements...*

RECEIVED  
JUN 10 2015  
PLEASANT PRAIRIE

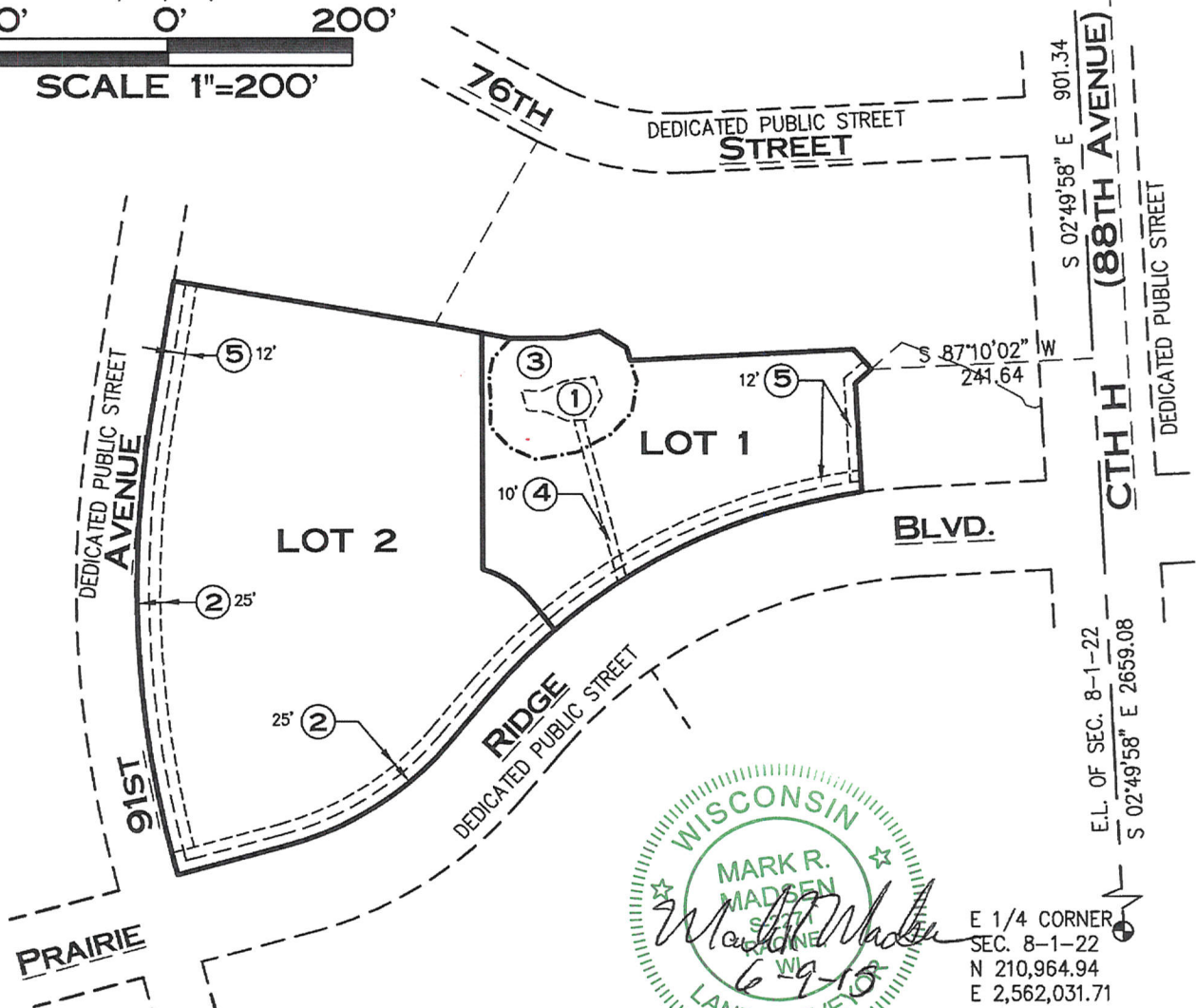
# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2744 BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

## EASEMENTS & RESTRICTIONS CARRYOVER FROM PRAIRIE RIDGE SUBDIVISION, CSM 2175 & CSM 2744



NE CORNER  
SEC. 8-1-22  
N 213,620.78  
E 2,561,900.30



E 1/4 CORNER  
SEC. 8-1-22  
N 210,964.94  
E 2,562,031.71

- ① DEDICATED WETLAND CONSERVANCY AREA EASEMENT AND RESTRICTED WETLAND CONSERVANCY AREA (SUBJECT TO A RESTRICTIVE COVENANT RUNNING WITH THE LAND). (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)
- ② 25' WIDE DEDICATED PLANTING AND LANDSCAPE EASEMENT AND RESTRICTED PLANTING, LANDSCAPE AND VEHICLE NON-ACCESS AREA, EXCEPT AS OTHERWISE AGREED TO BY THE VILLAGE OF PLEASANT PRAIRIE. (SUBJECT TO A RESTRICTIVE COVENANT RUNNING WITH THE LAND). (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)
- ③ DEDICATED WETLAND PRESERVATION AND PROTECTION, ACCESS AND MAINTENANCE EASEMENT. (AS DESCRIBED ON CSM 2744)
- ④ DEDICATED ACCESS AND MAINTENANCE EASEMENT. (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)
- ⑤ DEDICATED UTILITY EASEMENT AREAS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, AMERITECH AND TIME WARNER CABLE. (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)

*originally*

*originally*

*Proposed to be vacated*

*to be recorded*

*originally*

*village*

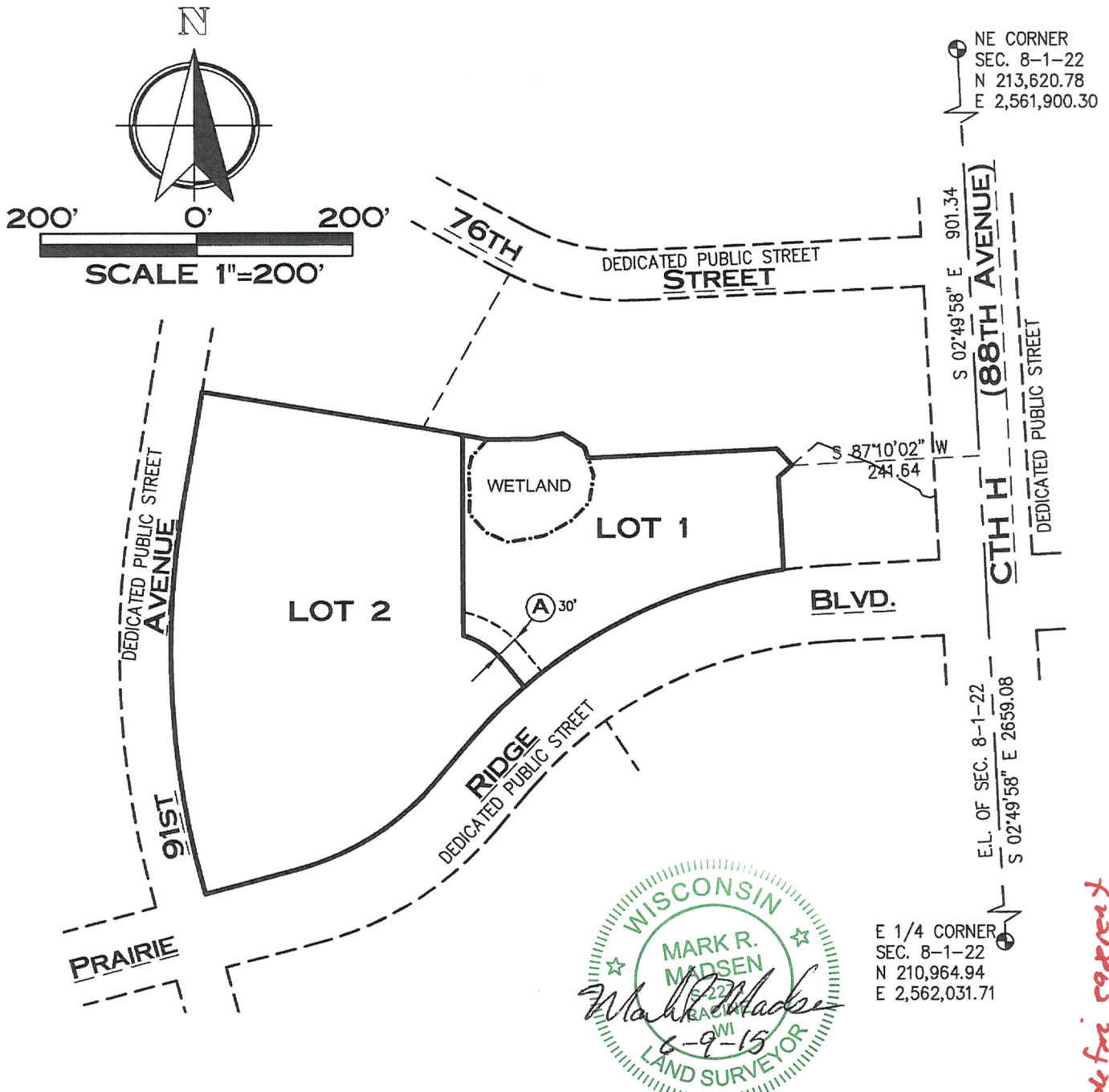
NOTE:  
ADDITIONAL DEDICATED INGRESS, EGRESS AND CROSS ACCESS EASEMENTS WILL BE REQUIRED ON BOTH LOTS 1 AND 2 AT THE TIME OF SITE AND OPERATIONAL PLAN APPROVAL FOR EACH LOT.

Date: June 9, 2015  
This Instrument was drafted by Mark R. Madsen  
PROJECT ID: 2013.0057.04

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2744 BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

## DEDICATIONS AND EASEMENTS



### DEDICATED 30' WIDE INGRESS, EGRESS AND CROSS ACCESS EASEMENT (A)

Nonexclusive easement coextensive with the area shown as a Dedicated 30' Wide Ingress-Egress, Cross Access and Maintenance Easement on Lot 1 of this CSM is hereby dedicated, given, granted and conveyed by the Owner / Land Divider to the Owner(s) of Lots 1 and 2 and the Village of Pleasant Prairie ("the Village") for vehicular and pedestrian ingress, egress and cross access purposes. In the event of any conflict between the rights of the Owner, the rights of the Village and the rights of the Lot Owner(s) or other entities with respect to the Dedicated Ingress-Egress, Cross Access and Maintenance Easement, the Village's rights under the easement shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to the easement, the Village shall have no obligation to do anything pursuant to its rights under the easement. The Owner(s) of Lots 1 and 2 shall be responsible for all costs associated with the construction, snow plowing and maintenance of the shared "private access drive" within said easement and associated pavement and landscaping improvements.

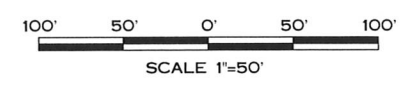
*A separate Cross Access Easement shall be recorded to expressly define easement and maintenance*

*recorded to expressly define easement and maintenance*

Date: June 9, 2015  
 This Instrument was drafted by Mark R. Madsen  
 PROJECT ID: 2013.0057.04



Thursday, July 25, 2013 1:40:55 PM



88th AVENUE (CTH H)

**Lot 1**

AREA: 2.912 Ac.  
 20,000 S.F. OFFICE BUILDING  
 81 REGULAR PARKING SPACES  
 2 HANDICAP PARKING SPACES  
 83 TOTAL PARKING SPACES

**Lot 2A**

AREA: 2.180 Ac.  
 21,500 S.F. OFFICE BUILDING  
 86 REGULAR PARKING SPACES  
 5 HANDICAP PARKING SPACES  
 91 TOTAL PARKING SPACES

**Lot 2B**

AREA: 2.739 Ac.  
 19,300 S.F. OFFICE BUILDING  
 77 REGULAR PARKING SPACES  
 4 HANDICAP PARKING SPACES  
 81 TOTAL PARKING SPACES

**Lot 2C**

AREA: 2.122 Ac.  
 11,200 S.F. OFFICE BUILDING  
 45 REGULAR PARKING SPACES  
 2 HANDICAP PARKING SPACES  
 47 TOTAL PARKING SPACES



**Nielsen Madsen & Barber S.C.**  
 Civil Engineers and Land Surveyors  
 1438 Horizon Blvd. Suite 200, Racine, WI. 53406  
 Tele: (262)634-5588 Fax: (262)634-5024  
 Website www.nmbssc.net

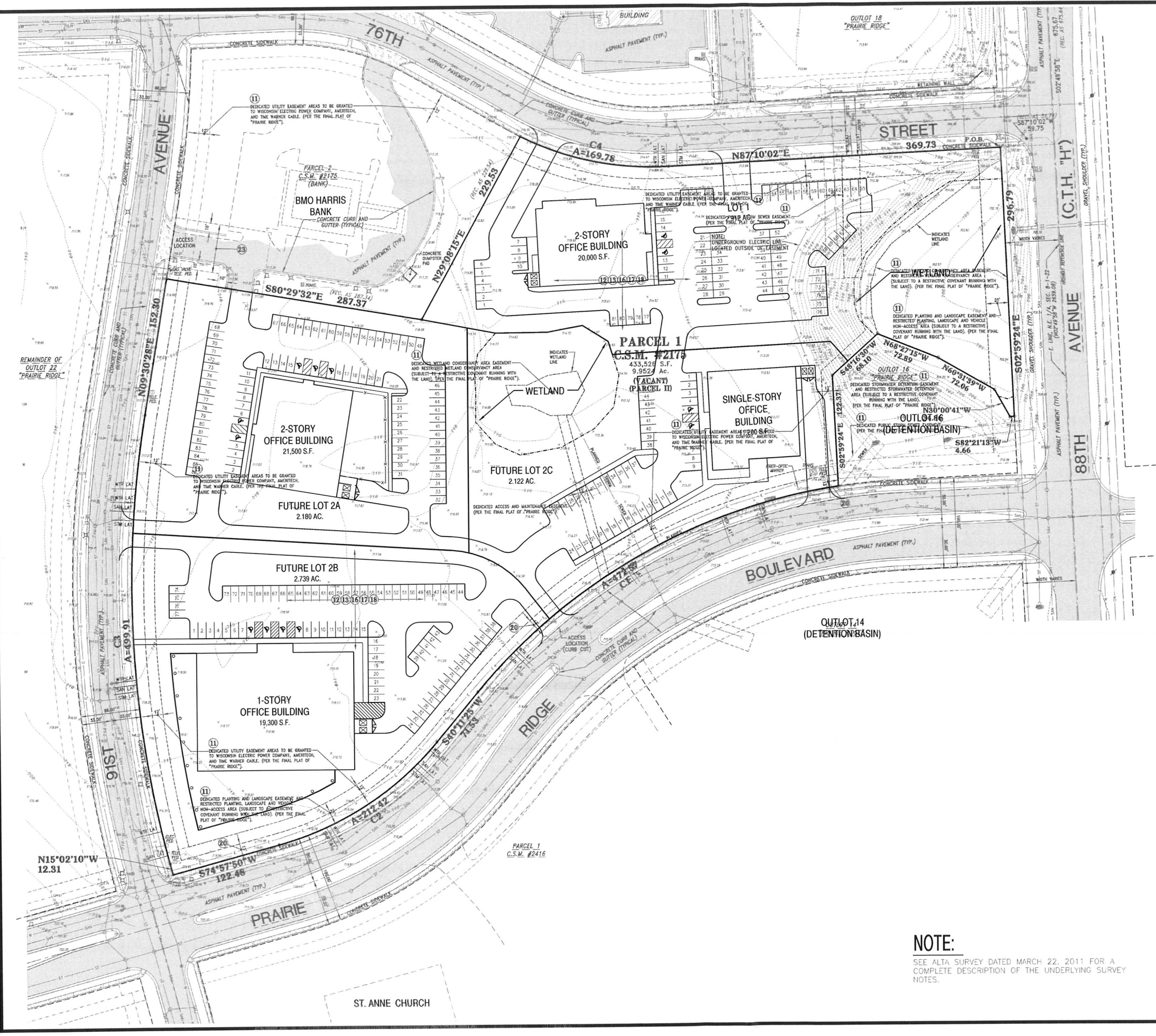
**OUTLOT 17 PRAIRIE RIDGE  
 CONCEPTUAL PLAN  
 FOR  
 SB1 PLEASANT PRAIRIE WI, LLC  
 VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

NO.	REVISION	BY	DATE

PROJ. MGR: MDE  
 DRAFTED: SCB  
 DATE: 7-16-13  
 CHECKED: MDE  
 DATE: 7-26-13

2013.0057.01  
 SHEET  
**1 OF 2**

Thursday, July 25, 2013 1:41:06 PM



100' 50' 0' 50' 100'  
SCALE 1"=50'



**Nielsen Madsen & Barber S.C.**  
Civil Engineers and Land Surveyors  
1458 Horizon Blvd, Suite 200, Racine, WI 53406  
Tel: (262)634-5588 Fax: (262)634-5024  
Website www.nmbssc.net

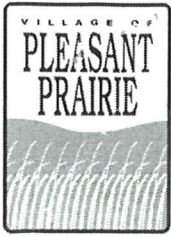
**OUTLOT 17 PRAIRIE RIDGE  
CONCEPTUAL PLAN OVERLAY**  
FOR  
**SB1 PLEASANT PRAIRIE WI, LLC**  
VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN

NO.	REVISION	BY	DATE

PROJ. MGR: MDE  
DRAFTED: SCB  
DATE: 7-18-13  
CHECKED: MDE  
DATE: 7-26-13

2013.0057.01  
SHEET  
**2** OF **2**

**NOTE:**  
SEE ALTA SURVEY DATED MARCH 22, 2011 FOR A COMPLETE DESCRIPTION OF THE UNDERLYING SURVEY NOTES.



Filed 5/28 2015 Published 6/8 2015  
 Public Hearing 6/22 2015 6/15 2015  
 Fee Paid 5/28 2015 Approved \_\_\_\_\_ 20\_\_\_\_  
 Notices Mailed 6/4 2015 Denied \_\_\_\_\_ 20\_\_\_\_

**VILLAGE OF PLEASANT PRAIRIE  
 CONCEPTUAL PLAN APPLICATION**

1. Development Name: Care Animal Hospital
2. General Location of Development: PRAIRIE RIDGE BOULEVARD
3. Tax Parcel Number(s): 91-4-122-081-0134 (part of)
4. Number of Lots: 1 Number of Outlots: \_\_\_\_\_
5. Size of Development: 2 acres.
6. The Development is proposed to be constructed in Phases:  Yes  No
7. The Development abuts or adjoins a State Trunk Highway:  Yes  No
8. The Development abuts or adjoins a County Trunk Highway or a Kenosha County Park or the Kenosha County Bike Trail:  Yes  No
9. The following number and types of plans shall be submitted with this application:
  - 10 full size sets of Conceptual Plan - *INCLUDED*
  - 1 copy of the Conceptual Plan reduced to 11" by 17" - *INCLUDED*
  - Conceptual Plan application fee - *INCLUDED*
  - 10 sets of Conceptual Engineering Plan - *NOT APPLICABLE*
  - Phasing Plan, if applicable - *NOT APPLICABLE*
  - Draft of Declarations, Covenant, Restrictions and any Easement Documents - *NOT APPLICABLE*
  - Any other information as specified by the Village - *NOT APPLICABLE*

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

*Future* PROPERTY OWNER:  
 Print Name: Russell B. Brewer DVM  
 Signature: Russell B Brewer  
 Address: 10990 192nd Ave.  
Bristol WI 53104  
 (City) (State) (Zip)  
 Phone: 262-308-4353  
 Fax: \_\_\_\_\_  
 Date: 5/19/15

OWNER'S AGENT:  
 Print Name: BOB POCH  
 Signature: Bob Poch  
 Address: 711 LOIS DRIVE  
SUN PRAIRIE WI 53590  
 (City) (State) (Zip)  
 Phone: 608-318-2336 920-427-4458  
 CELL  
 Fax: 608-318-2337  
 Date: 5/19/15

*See attached email  
 from property owner  
 SBI Pleasant Prairie WI LLC*

**RECEIVED**

MAY 28 2015

**PLEASANT PRAIRIE**

## Peggy Herrick

---

**From:** Dave Galowich <dgalowich@madisonchicago.com>  
**Sent:** Saturday, May 30, 2015 8:24 AM  
**To:** Poch, Bob (Keller Inc.); Peggy Herrick  
**Cc:** Jean Werbie-Harris  
**Subject:** Re: Care Animal Hospital

Peggy.

Please accept this email as authorization from the property owner, SB1 Pleasant Prairie WI LLC allowing Dr. Brewer to apply for concept plan approval. Let me know if you require anything else.

Dave

David H. Galowich  
**Madison Realty Group, Inc.**  
1144 W. Fulton Market Suite 200  
Chicago Illinois 60607  
312-759-5020 (direct)  
[dgalowich@madisonchicago.com](mailto:dgalowich@madisonchicago.com)  
[www.madisonchicago.com](http://www.madisonchicago.com)



# Keller

Planners | Architects | Builders

Offices in Fox Cities, Madison,  
Milwaukee, & Wausau

May 29, 2015

## Village of Pleasant Prairie

9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

### RE: Care Animal Hospital

#### A. Operational Narrative Description:

- Care Animal Hospital treats dogs, cats and exotic pets, and offers routine preventative care to orthopedic surgery by (4) veterinarians.
- We will have an outdoor dog exercise area that is about 300 to 400 square feet and it will be under-roof.

#### B. Project Description:

- New 11,800 square foot wood framed vet clinic.
- The existing business activity will be similar to Care Animal's existing location.
- The site is 2.122 acres and is on Prairie Ridge Boulevard.
- The zoning is B2/C-1 and will be a PUD.

#### C. Proposed Building Size:

- The proposed building size is 11,000 to 11,800 square feet.

#### D. Hours of Operation:

- Hours of operation are Monday – Friday from 8:00 a.m. to 7:00 p.m., and Saturdays from 8:00 a.m. to 2:00 p.m.
- We will have daily deliveries using the employee parking side of the building, which is the east lot.

#### E.

- Start up in fall of 2017.

- (20) Employees.

#### F.

- (1) Shift varying up to (20) employees.

#### G.

- (20) Employees maximum at one time.

#### H.

- Not applicable.

#### ADDRESS

711 Lois Drive, Sun Prairie, WI 53590

#### PHONE

608.318.2336 1-800-236-2534

#### FAX

608.318.2337

#### WEB SITE

[www.kellerbuilds.com](http://www.kellerbuilds.com)



5/29/15

- I.
  - See site plan for calculation.
  - (4) Doctors x (4) stalls = 16 Stalls.
  - (20) Employees = 20 Stalls
  - Handicap = 3 Stalls
- J.
  - (39) Stall required, (71) stalls provided.
- K.
  - We anticipate (128) to (160) customer visits per day.
- L.
  - (1) to (2) Truck deliveries per day.
- M.
  - Not applicable.
- N.
  - Not applicable.
- O.
  - Dead animals will be refrigerated and picked up by a carcass removal company.
- P.
  - Not applicable.
- Q.
  - Security camera system inside and outside.
- R.
  - Quarterly inspections of property will be made by the owner to ensure property is maintained.
  - We also outsource lawn care and snow removal.
- S.
  - Not applicable.
- T. **NOI to WDR:**
  - No permits have been applied for yet.
  - State building plan approval.
  - State interior and exterior plumbing approval.
  - State HVAC plan approval.
  - Electrical, HVAC, and plumbing local permits.
  - Local building permit.
  - Conditional Use permit from Pleasant Prairie.
  - Plan Commission approval.

Respectfully submitted,

**KELLER, INC.**  
PLANNERS/ARCHITECTS/BUILDERS

Bob Poch  
Project Manager  
920-427-4458

Operational plan.

- (1) Operational plan requirements. The applicant shall prepare and file as part of the application for site and operational plan approval an operational plan which shall include at least the following information or materials:
- (a) A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.
  - (b) A detailed description of the proposed project or activity giving rise to the need for site and operational plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.
  - (c) Gross floor area of the existing building(s) and/or proposed addition.
  - (d) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.
  - (e) Anticipated startup and total number of full- and part-time employees.
  - (f) Anticipated number of shifts and the anticipated number of employees per shift.
  - (g) Anticipated maximum number of employees on site at any time of the day.
  - (h) Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.
  - (i) Number of parking spaces required per this chapter and the method used to calculate such number.
  - (j) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped accessible spaces to be stated separately).
  - (k) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).
  - (l) Anticipated daily average and maximum potential number of truck trips to and from the site.
  - (m) Types and quantities of goods and materials to be made, used or stored on site.
  - (n) Types of equipment or machinery to be used on site.
  - (o) Types and quantities of solid or liquid waste materials which will require disposal.
  - (p) Method of handling, storing and disposing of solid or liquid waste materials.
  - (q) Methods of providing site and building security other than the Village Police Department.
  - (r) Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.
  - (s) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.
  - (t) A list of all local, Kenosha County (highway access), State and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval. Provide copies of such permits and approvals that have been obtained.

(2) Operational plan standards. In addition to any other applicable requirements or standards specified in this chapter, the following requirements or standards shall apply to the operational plan:

(a) No use shall be conducted in such a way as to constitute a public or private nuisance.

(b) No use shall be conducted in such a way as to violate any of the performance standards set out in § 420-38 of this chapter.

(c) (reserved)

(d) No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use.

(e) All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well cared for and attractive condition.

(f) Within a building, any provision of live entertainment in connection with a business or club use involving the selling or service of alcoholic beverages shall comply with the following restrictions:

[1] Live entertainment shall be provided only on a raised platform that is not less than 23 inches higher than the elevation of the surrounding floor surfaces where customers, members or their guests are sitting, standing or dancing;

[2] Customers, members or their guests shall at all times be separated from the raised platform on which live entertainment is being provided by a distance of not less than four feet and a physical barrier to mark and enforce such separation distance; and

[3] There shall be no touching of any kind between entertainers and customers, members or their guests.

(g) No proposed new or expanded use shall be permitted to create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village.

(h) Indoor pyrotechnic displays are prohibited.



# SHEET INDEX

- C1.0 SITE PLAN
- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS

## PROJECT INFORMATION

### APPLICABLE BUILDING CODE

2009 INTERNATIONAL BUILDING CODE (WITH WISCONSIN AMENDMENTS)  
ASHRE STANDARD 90.1-2007

### BUILDING CONTENT

PROPOSED BUILDING 11,021 S.F.  
TOTAL FIRE AREA 11,021 S.F.

HIGH PILE STORAGE YES  NO   
FIRE ALARM SYSTEM YES  NO

### OCCUPANCY

B - BUSINESS  
NON SEPARATED

### CONSTRUCTION CLASSIFICATION

TYPE VB CONSTRUCTION  
SPRINKLED YES  NO   
FIREWALL YES  NO

### ALLOWABLE AREA

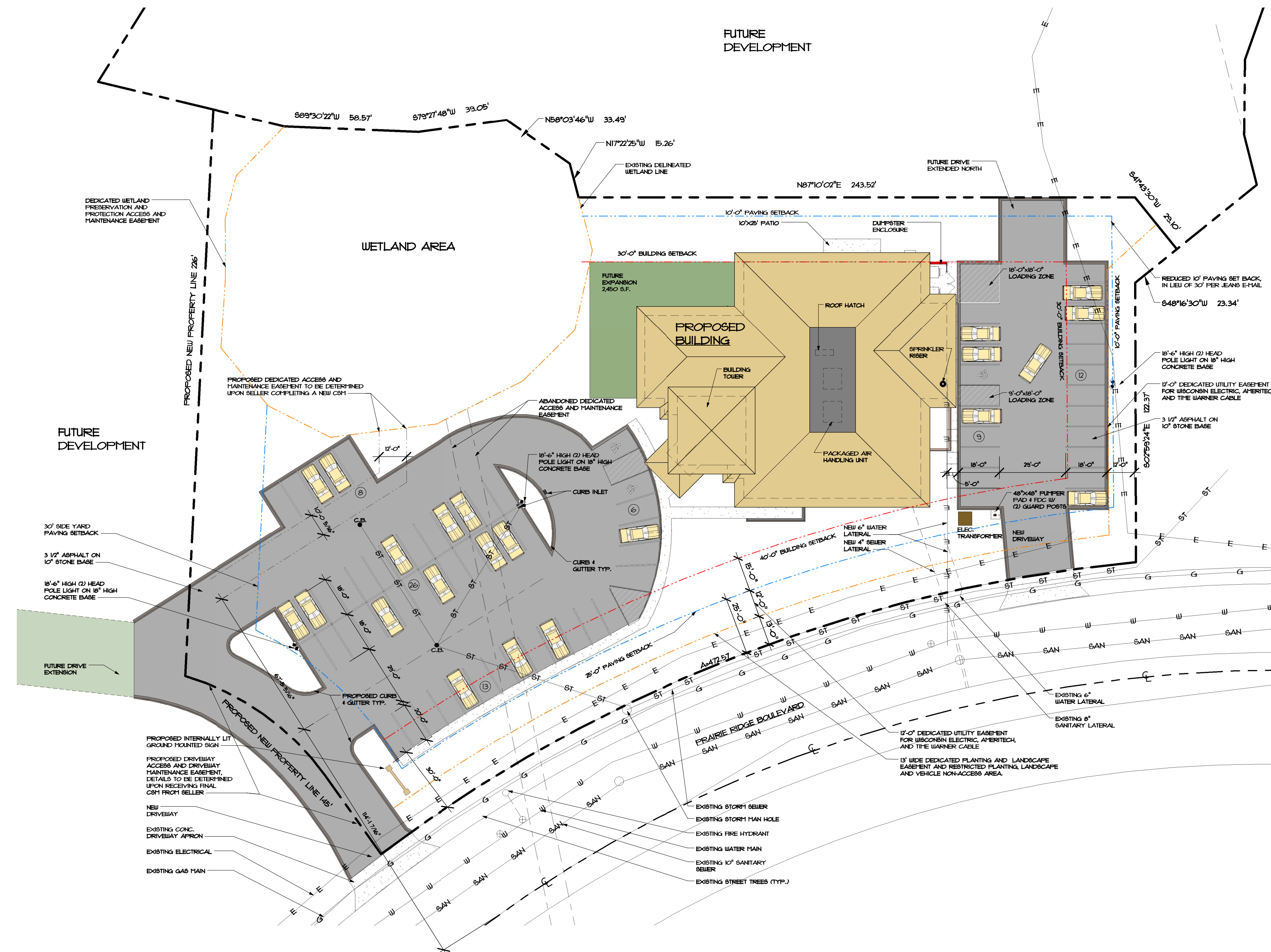
TABULAR FLOOR AREA: 9,000 S.F.  
FRONTAGE INCREASE: 10,459 S.F.  
SPRINKLER INCREASE: 27,000 S.F.  
TOTAL ALLOWABLE AREA: 46,459 S.F.  
ALLOWABLE FIRE AREA: 12,000 S.F.

### ZONING INFORMATION

ZONING: B2/C-1 AND PUD  
FRONT YARD BUILDING SETBACK: 65'-0" FROM ARTERIAL STREETS OR HIGHWAYS  
40'-0" FROM NONARTERIAL STREETS OR PRIVATE ROADS  
SIDE YARD BUILDING SETBACK: 30'-0"  
FRONT PAVING SETBACK: 25'-0"  
EAST SIDE PAVING SETBACK: 10'-0" PER JEANS E-MAIL IN LIEU OF 30'-0"  
REAR PAVING SETBACK: 10'-0"

### PARKING REQUIREMENTS

(4) SPACES/DOCTOR: (4) DOCTORS X (4) = 16 STALLS  
(1) PER EMPLOYEE: (20) EMPLOYEES = 20 STALLS  
HANDICAP STALLS: 3 STALLS  
PARKING REQUIRED: 39 STALLS  
PARKING PROVIDED: 71 STALLS (1 STALL/221 S.F.)



CONCEPTUAL SITE PLAN

1" = 30'-0"

NORTH



THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.

PROPOSED FOR:

# CARE ANIMAL HOSPITAL

PLEASANT PRAIRIE,

WISCONSIN



# Keller

PLANNERS | ARCHITECTS | BUILDERS

**FOX CITIES**  
N216 State Road 55  
P.O. Box 620  
Kaukauna, WI 54130  
PHONE (920) 766-5795  
1-800-236-2334  
FAX (920) 766-5004

**MADISON**  
211 Lois Dr.  
Sun Prairie, WI 53590  
PHONE (608) 318-2336  
FAX (608) 318-2337

**MILWAUKEE**  
W177N856 Rivercrest Dr.  
Suite 104  
Cremontown, WI 53022  
PHONE (262) 250-9710  
FAX (262) 250-9740

**WAUSAU**  
5605 Linc Ave.  
Wausau, WI 54401  
PHONE (715) 849-3141  
FAX (715) 849-3181

www.kellerbuilds.com

PROPOSED FOR:  
**CARE ANIMAL HOSPITAL**  
 PLEASANT PRAIRIE,  
 WISCONSIN

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### REVISIONS

3 5/6/15 PAS  
4 5/13/15 JRG  
5 5/26/15 PAS

### PROJECT MANAGER:

B. POCH

### DESIGNER:

S. KLEBIG

### DRAWN BY:

PAS

### EXPEDITOR:

----

### SUPERVISOR:

----

### PRELIMINARY NO.:

P14306

### CONTRACT NO.:

----

### DATE:

5/6/15

### SHEET:

**C1.0**

PRELIMINARY - NOT FOR CONSTRUCTION



**Keller**  
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**PROPOSED FOR:**  
**CARE ANIMAL HOSPITAL**

**PLEASANT PRAIRIE, WISCONSIN**

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**PRELIMINARY - NOT FOR CONSTRUCTION**

REVISIONS	DATE	DESCRIPTION
3	5/6/15	PA6

PROJECT MANAGER: B. POCH  
 DESIGNER: S. KLESSIG  
 DRAWN BY: PA6  
 EXPEDITOR: \_\_\_\_\_  
 SUPERVISOR: \_\_\_\_\_  
 PRELIMINARY NO.: P14306  
 CONTRACT NO.: \_\_\_\_\_  
 DATE: 5/6/15  
 SHEET: **A1.0**



# Keller

PLANNERS | ARCHITECTS | BUILDERS

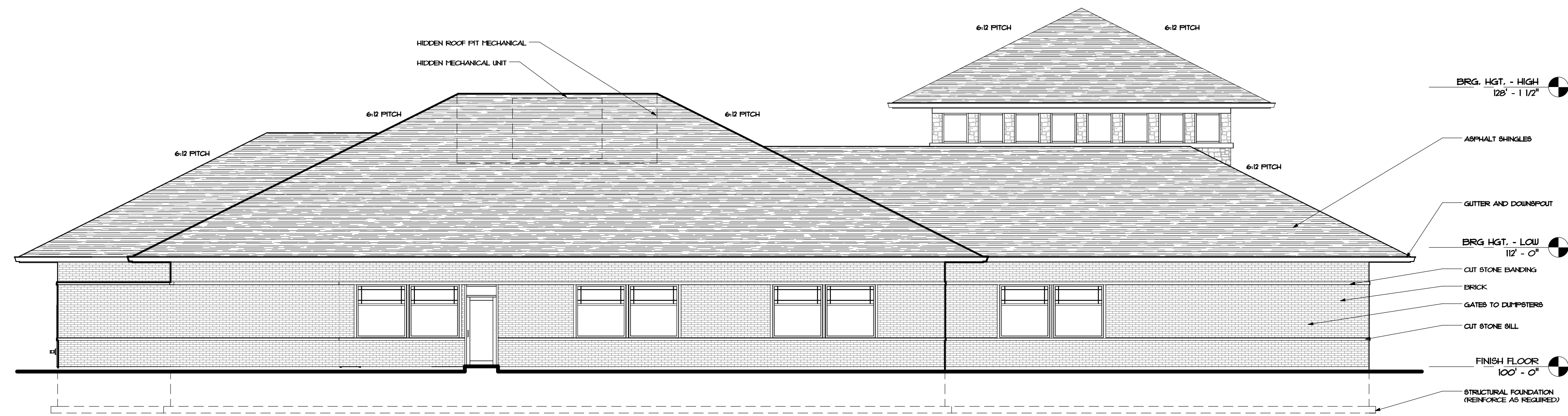
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**MADISON**  
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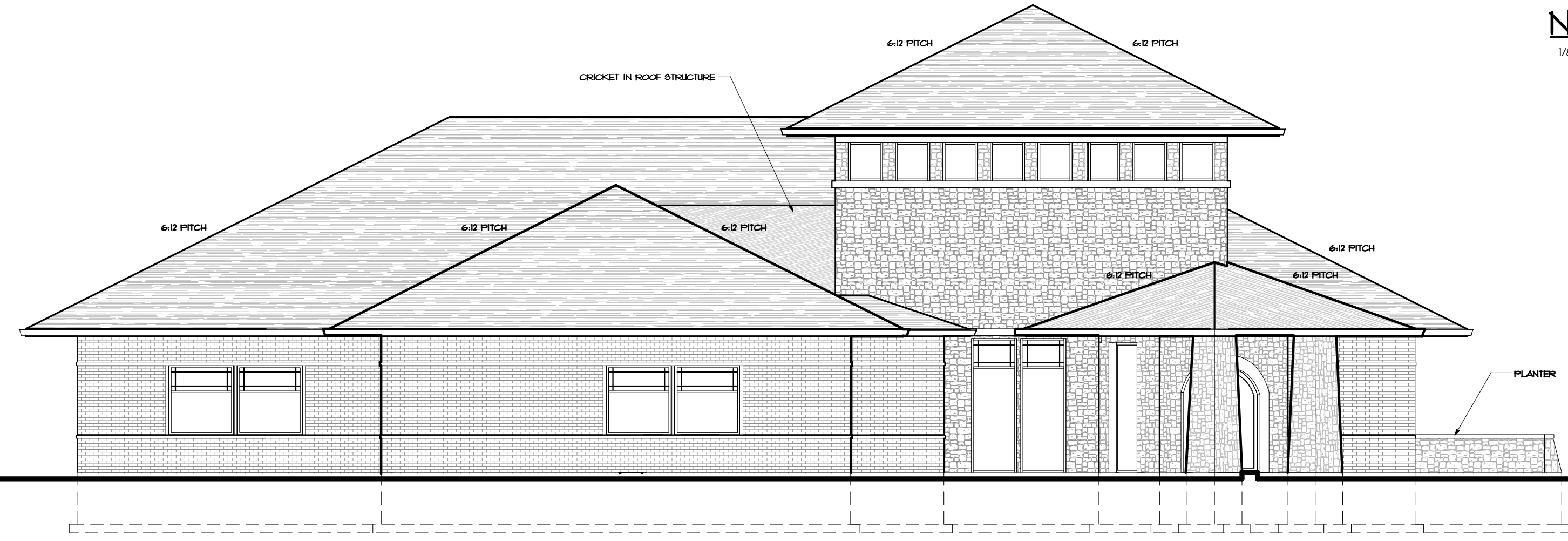
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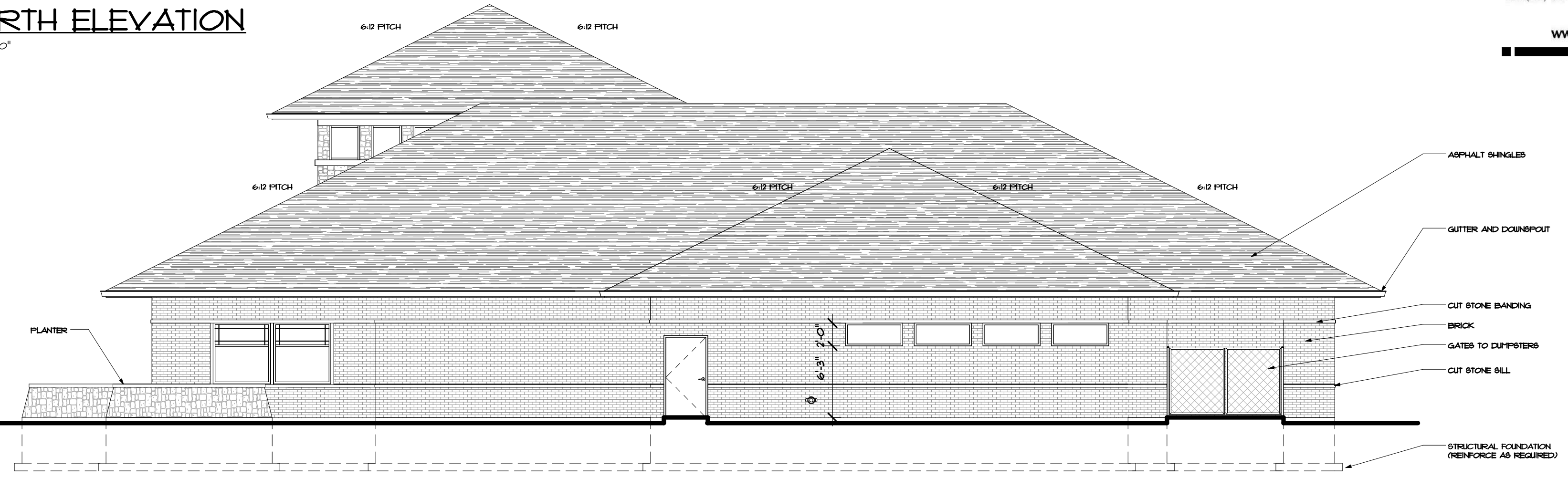
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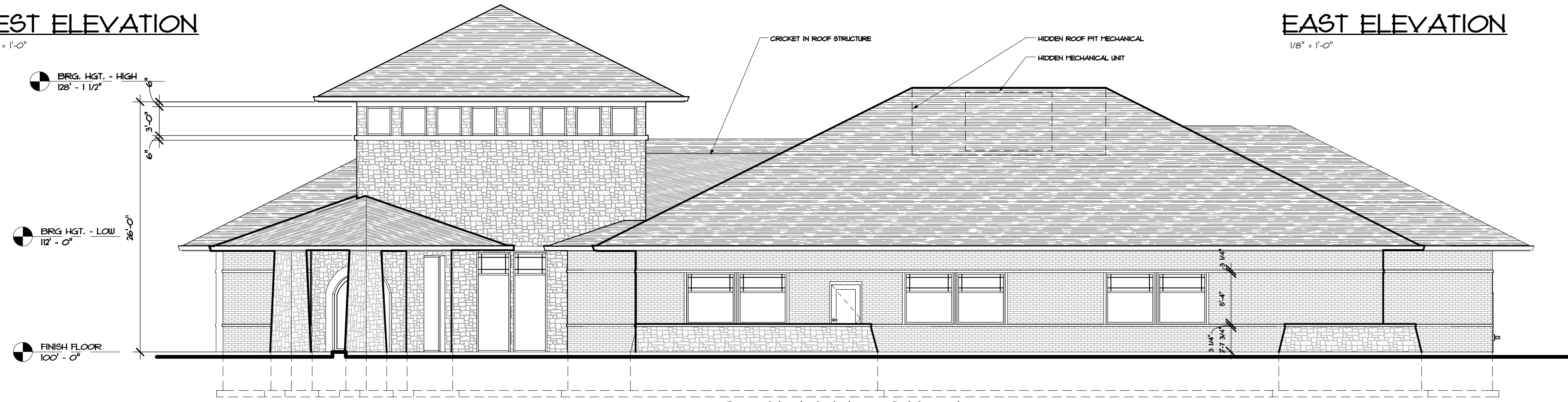
**NORTH ELEVATION**  
1/8" = 1'-0"



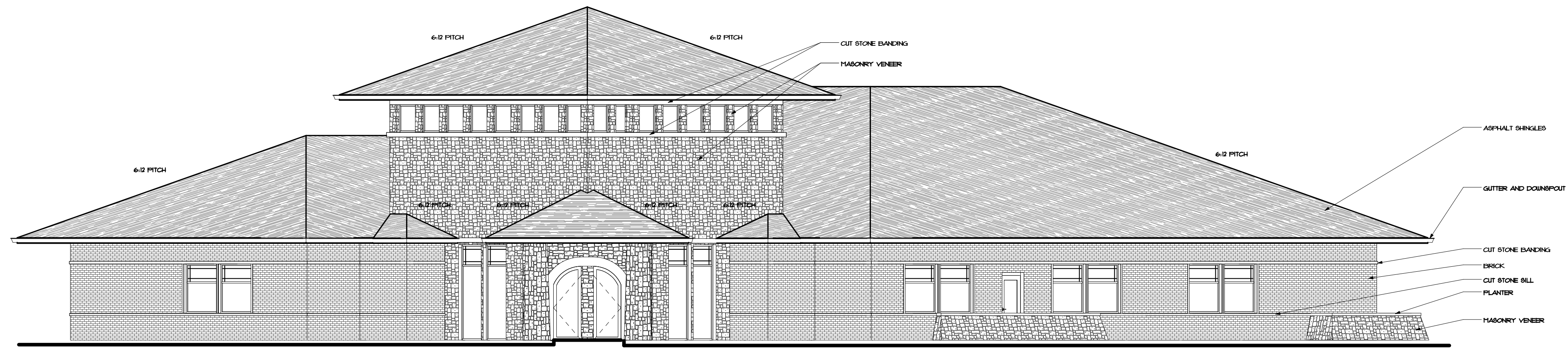
**WEST ELEVATION**  
1/8" = 1'-0"



**EAST ELEVATION**  
1/8" = 1'-0"



**SOUTH ELEVATION**  
1/8" = 1'-0"



**FRONT ENTRANCE ELEVATION**  
1/8" = 1'-0"

WISCONSIN

# CARE ANIMAL HOSPITAL

PLEASANT PRAIRIE,

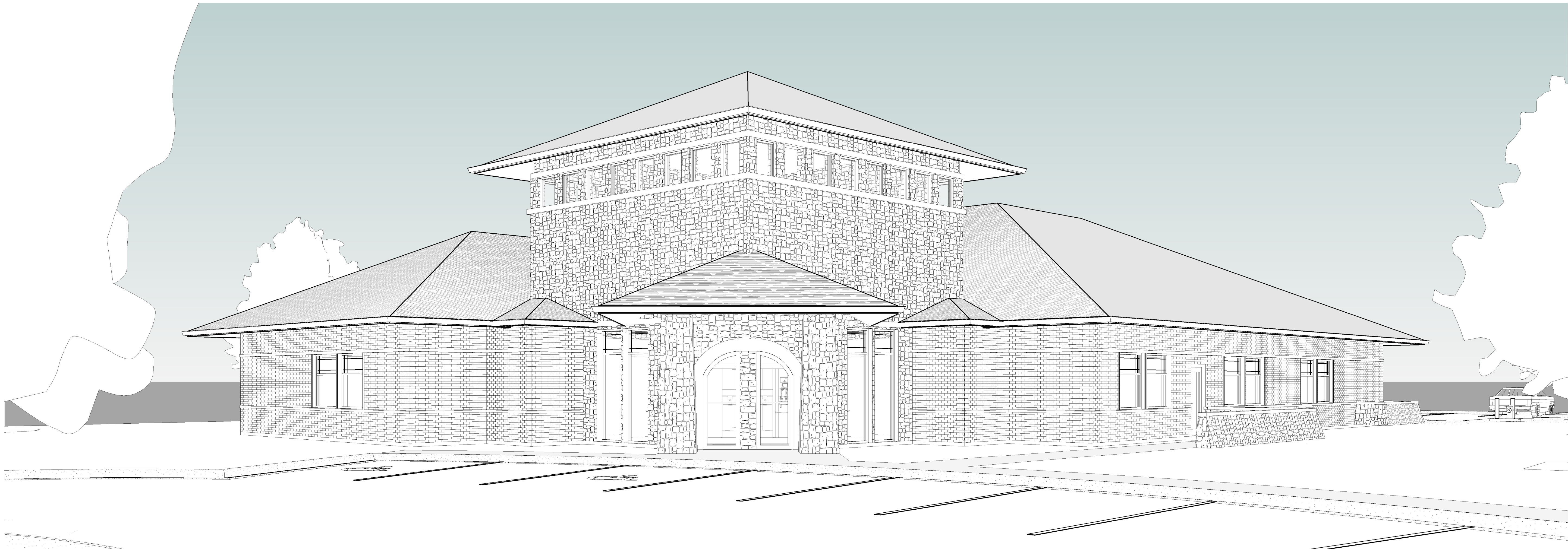
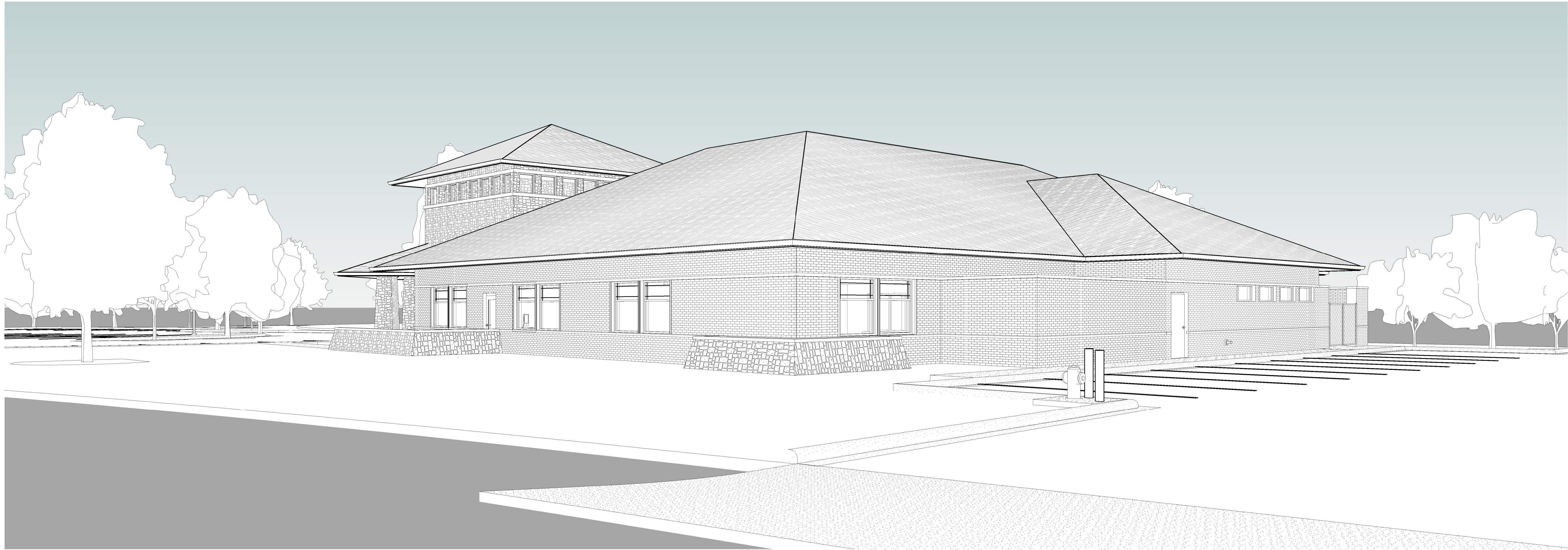
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PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS
3 5/6/15 PAS

PROJECT MANAGER:	B. POCH
DESIGNER:	S. KLEBIG
DRAWN BY:	PAS
EXPEDITOR:	
SUPERVISOR:	
PRELIMINARY NO.:	P14306
CONTRACT NO.:	
DATE:	5/6/15
SHEET:	A2.0



**Keller**

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**CARE ANIMAL HOSPITAL**

WISCONSIN

PLEASANT PRAIRIE,

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REVISIONS	
3	5/6/15 PAS
.	.
.	.
.	.

PROJECT MANAGER: B. FOCH

DESIGNER: S. KLEBIG

DRAWN BY: PAS

EXPEDITOR: \_\_\_\_\_

SUPERVISOR: \_\_\_\_\_

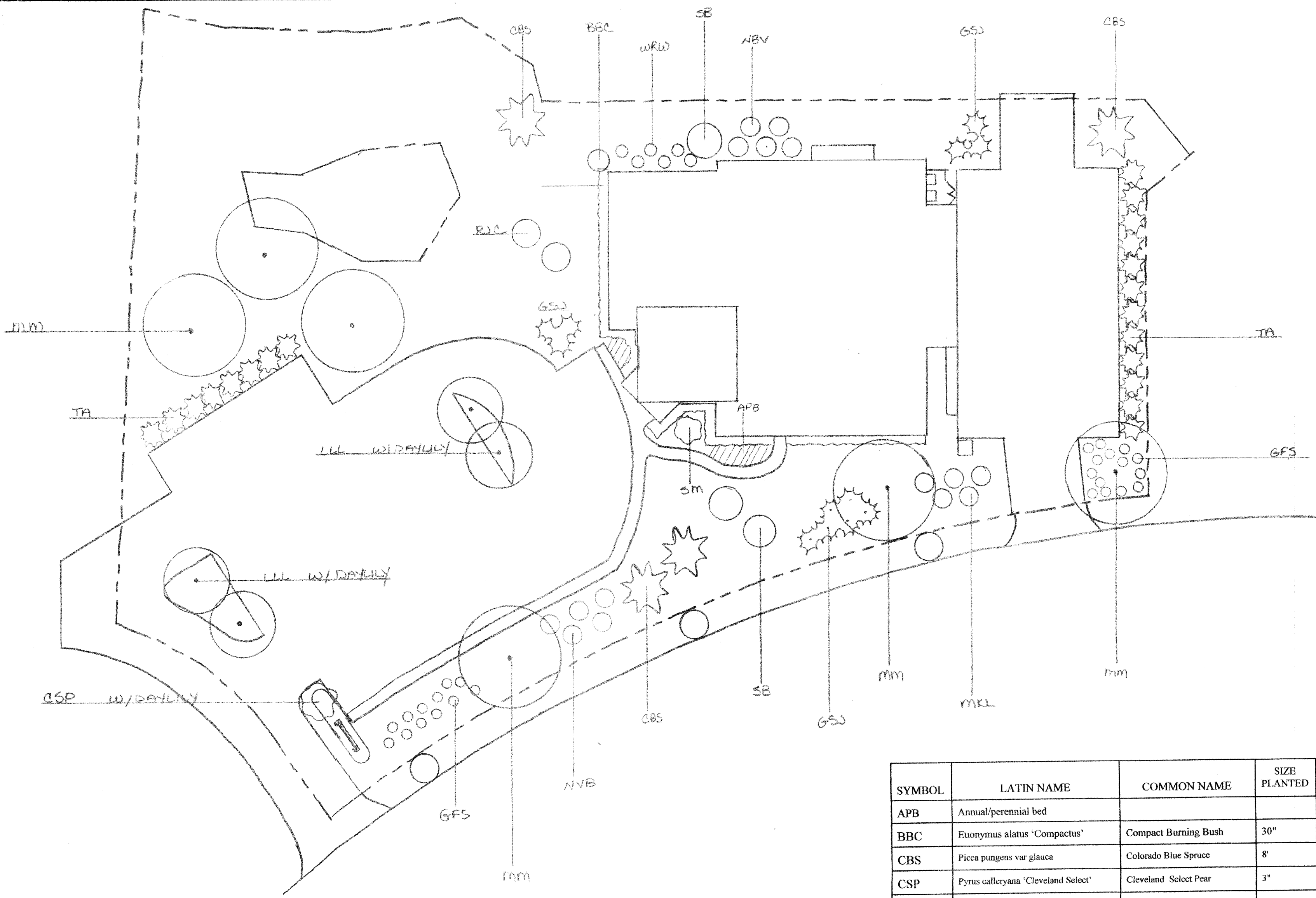
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CONTRACT NO: \_\_\_\_\_

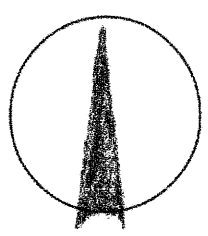
DATE: 5/6/15

SHEET: **A2.1**

PRELIMINARY - NOT FOR CONSTRUCTION



SYMBOL	LATIN NAME	COMMON NAME	SIZE PLANTED	MATURE SIZE
APB	Annual/perennial bed			
BBC	Euonymus alatus 'Compactus'	Compact Burning Bush	30"	8'H/8'W
CBS	Picea pungens var glauca	Colorado Blue Spruce	8'	60'H/20'W
CSP	Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	3"	35'H/15'W
GFS	Spiraea bumalda 'Gold Flame'	Gold Flame Spirea	24"	3'H/3'W
GJS	Juniperus chinensis 'Gold Star'	Gold Star Juniper	24"	4'H/6'W
LLL	Tilia cordata 'Glenleven'	Glenleven Linden	3"	50'H/30'W
MKL	Syringa patula 'Miss Kim'	Miss Kim Lilac	30"	6'H/6'W
MM	Acer x freemani 'Marmo'	Marmo Maple	3"	65'H/40'W
NBV	Viburnum dentatum 'Northern Burgundy'	Northern Burgundy Viburnum	36"	7'H/6'W
RJC	Malus 'Red Jewel'	Red Jewel Crabapple	7'	15'H/12'W
SB	Amelanchier x grandiflora	Serviceberry	7'	25'H/15'W
SM	Magnolia stellata	Star Magnolia	6'	15'H/10'W
TA	Thuja occidentalis 'Techny'	Techny Arborvitae	6'	20'H/8'W
WRW	Weigela florida 'Wine & Roses'	Wine & Roses Weigela	24"	4'H/4'W



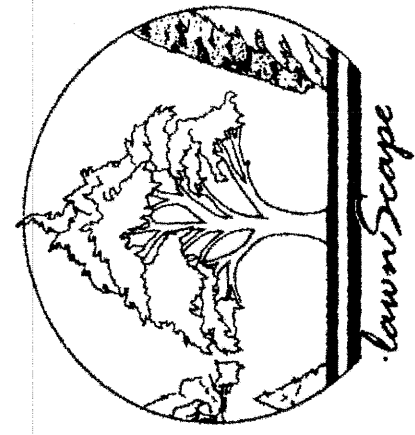
Scale: 1" = 30'

# Care Animal Hospital

Pleasant Prairie, Wisconsin

Date: 5/26/2015

**LawnScape Maintenance Co.**  
 24639 W. Townline Road  
 Grayslake, IL 60030  
 (815) 740-0425



LawnScape Maintenance Co. reserves all rights in these plans. Reproduction of design or concept in any form, in whole or in part, without the written consent of LawnScape Maintenance Co. constitutes a direct violation of the federal copyright law.



Filed 6/10 2015  
Fee Paid 6/10 2015  
PC Meeting Date 6/22 2015  
VB Meeting Date 7/6 2015  
Approved \_\_\_\_\_ 20\_\_  
Denied \_\_\_\_\_ 20\_\_

**VILLAGE OF PLEASANT PRAIRIE  
CERTIFIED SURVEY MAP APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be subdivided with a Certified Survey Map (CSM)

The property petitioned to be subdivided is located at: Northeast Corner of 91st Avenue & Prairie Ridge Blvd.  
and is legally described as follows: Lot 2, Certified Survey Map 2744

Tax Parcel Number(s): 91-4-122-081-0134

The property abuts or adjoins a State Trunk Highway	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
The property abuts or adjoins a County Trunk Highway	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Municipal Sanitary Sewer is available to service said properties	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Municipal Water is available to service said properties	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

**PROPERTY OWNER:**

Print Name: SB1 Pleasant Prairie WI, LLC.

Signature: [Signature]

Address: 591 West Putnam Avenue

Greenwich, CT 06830  
(City) (State) (Zip)

Phone: (312) 759-5020

Fax: N/A

Date: June 8, 2015

**OWNER'S AGENT:**

Print Name: David Galowich

Signature: [Signature]

Address: 1144 West Fulton Market STE 200

Chicago IL 60607  
(City) (State) (Zip)

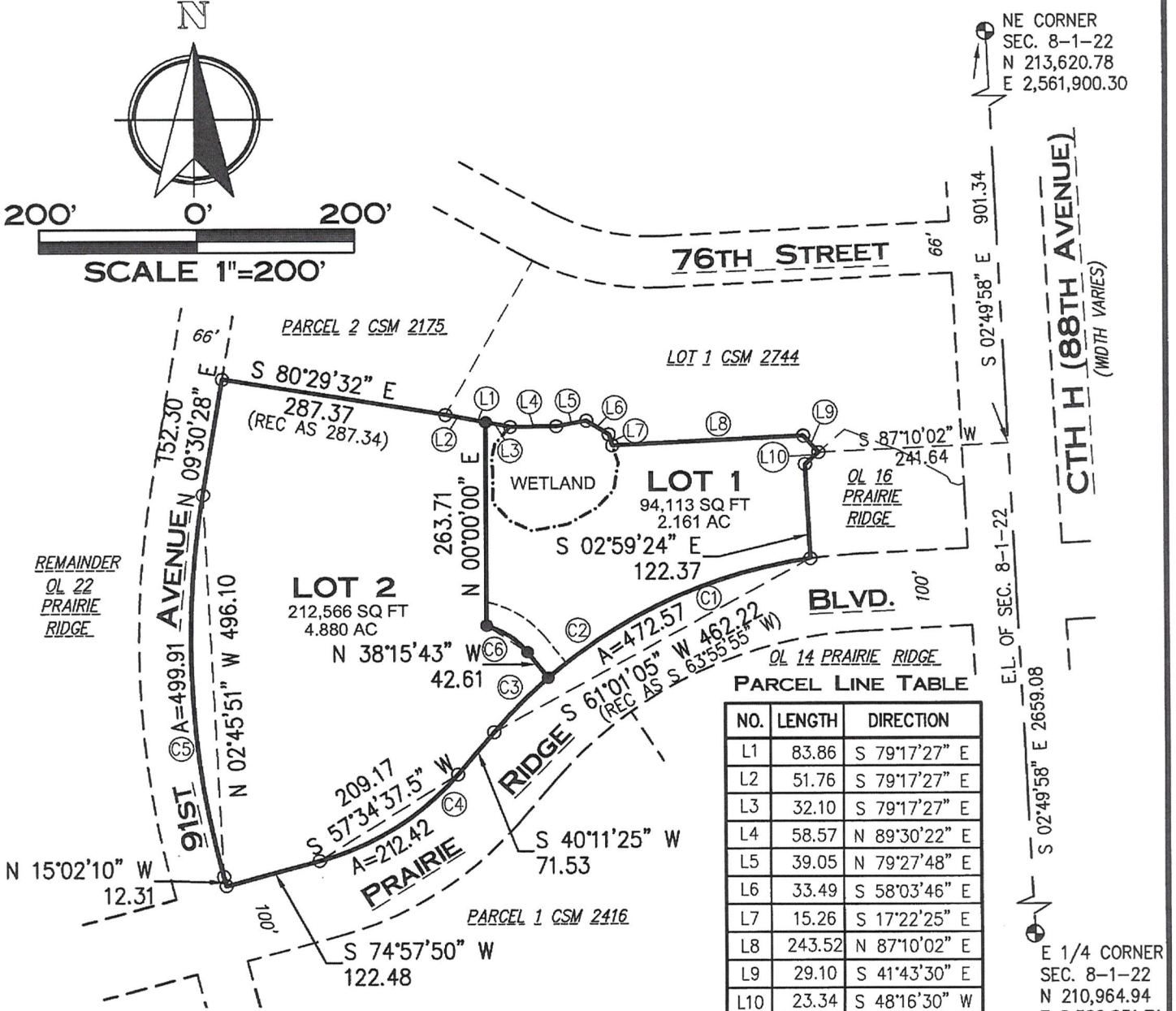
Phone: (312) 759-5020

Fax: N/A

Date: June 8, 2015

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2744 BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.



PARCEL LINE TABLE

NO.	LENGTH	DIRECTION
L1	83.86	S 79°17'27" E
L2	51.76	S 79°17'27" E
L3	32.10	S 79°17'27" E
L4	58.57	N 89°30'22" E
L5	39.05	N 79°27'48" E
L6	33.49	S 58°03'46" E
L7	15.26	S 17°22'25" E
L8	243.52	N 87°10'02" E
L9	29.10	S 41°43'30" E
L10	23.34	S 48°16'30" W

CURVE TABLE

NO.	ARC.	RADIUS	CENTRAL ANGLE	CHORD BEARING	CHORD	TANGENT
C1	472.57	650.00	41°39'20"	S 61°01'05" W	462.22	247.27
C2	373.67	650.00	32°56'16"	S 65°22'37" W	368.54	192.15
C3	98.90	650.00	08°43'04"	S 44°32'57" W	98.80	49.54
C4	212.42	350.00	34°46'25"	S 57°34'37.5" W	209.17	109.59
C5	499.91	1167.00	24°32'38"	N 02°45'51" W	496.10	253.85
C6	63.07	100.00	36°08'07"	N 56°19'46" W	62.03	32.62

LOCATION MAP  
STH 50 (75th ST)



**NOTES:**  
 ZONING OF PARCEL IS B-2 AND C-1  
 OWNER/LAND DIVIDER: SB1 PLEASANT PRAIRIE WI, LLC  
 ADDRESS 591 WEST PUTNAM AVENUE  
 GREENWICH, CT 06830  
 SURVEYOR: NIELSEN MADSEN & BARBER, S.C.  
 1458 HORIZON BLVD. SUITE 200, RACINE, WI 53406  
 BEARINGS BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE.  
 BASED UPON NAD 1927. THE EAST LINE OF SECTION 8-1-22 IS ASSUMED TO BEAR S 02°49'58" E.

**LEGEND:**  
 ○ 1" O.D. IRON PIPE FOUND  
 ● 5/8" O.D. x 18" REBAR - 1.04 LBS/LIN FT. SET  
 ● 6" CONC. MON. W / BRASS CAP FOUND

Date: June 9, 2015  
 This Instrument was drafted by Mark R. Madsen  
 PROJECT ID: 2013.0057.04

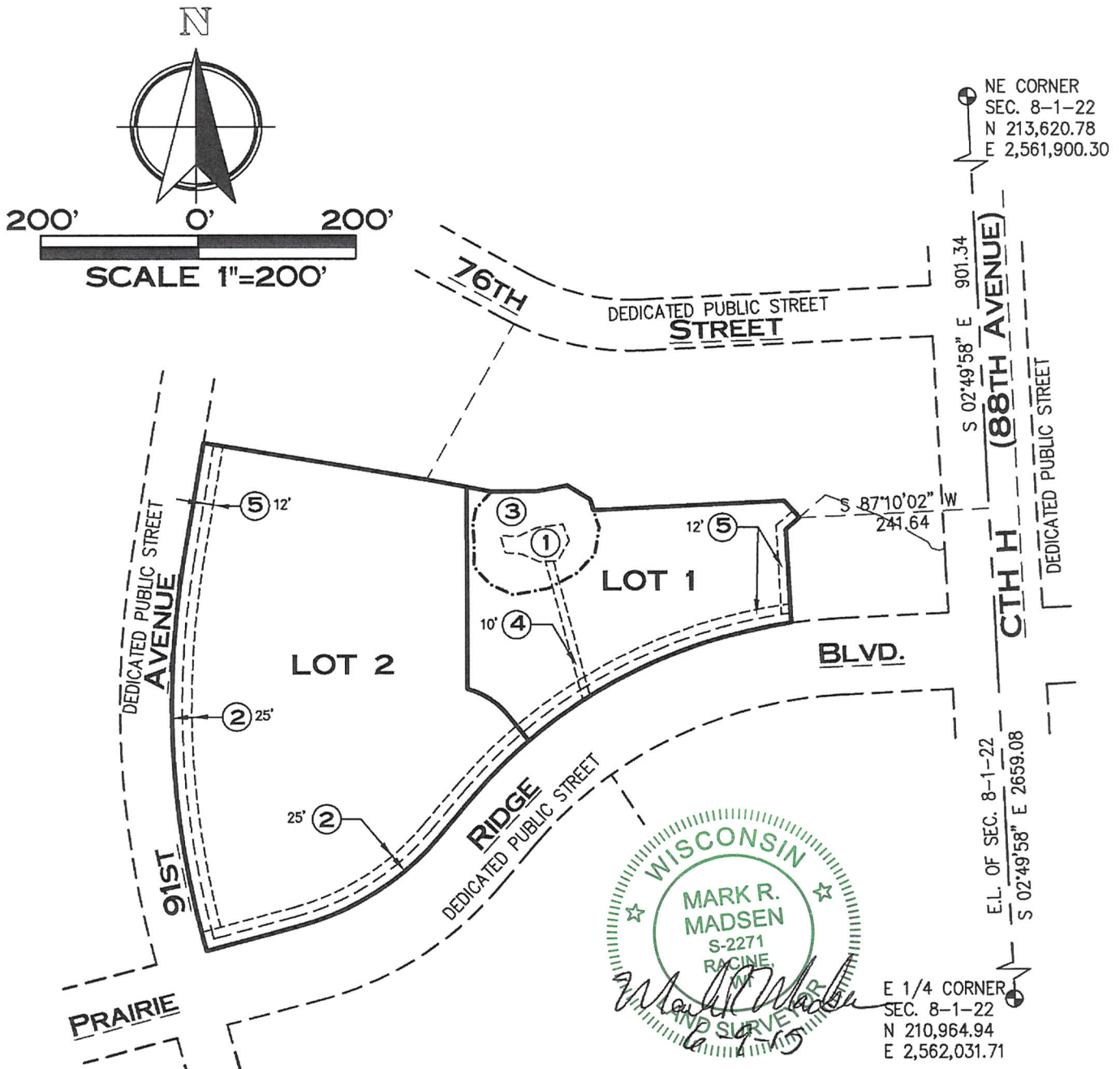
JUN 10 2015

RECEIVED

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2744 BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.

## EASEMENTS & RESTRICTIONS CARRYOVER FROM PRAIRIE RIDGE SUBDIVISION, CSM 2175 & CSM 2744



- ① DEDICATED WETLAND CONSERVANCY AREA EASEMENT AND RESTRICTED WETLAND CONSERVANCY AREA (SUBJECT TO A RESTRICTIVE COVENANT RUNNING WITH THE LAND). (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)
- ② 25' WIDE DEDICATED PLANTING AND LANDSCAPE EASEMENT AND RESTRICTED PLANTING, LANDSCAPE AND VEHICLE NON-ACCESS AREA, EXCEPT AS OTHERWISE AGREED TO BY THE VILLAGE OF PLEASANT PRAIRIE. (SUBJECT TO A RESTRICTIVE COVENANT RUNNING WITH THE LAND). (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)
- ③ DEDICATED WETLAND PRESERVATION AND PROTECTION, ACCESS AND MAINTENANCE EASEMENT. (AS DESCRIBED ON CSM 2744)
- ④ DEDICATED ACCESS AND MAINTENANCE EASEMENT. (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)
- ⑤ DEDICATED UTILITY EASEMENT AREAS GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, AMERITECH AND TIME WARNER CABLE. (AS DESCRIBED ON THE FINAL PLAT FOR PRAIRIE RIDGE)

NOTE:  
ADDITIONAL DEDICATED INGRESS, EGRESS AND CROSS ACCESS EASEMENTS WILL BE REQUIRED ON BOTH LOTS 1 AND 2 AT THE TIME OF SITE AND OPERATIONAL PLAN APPROVAL FOR EACH LOT.

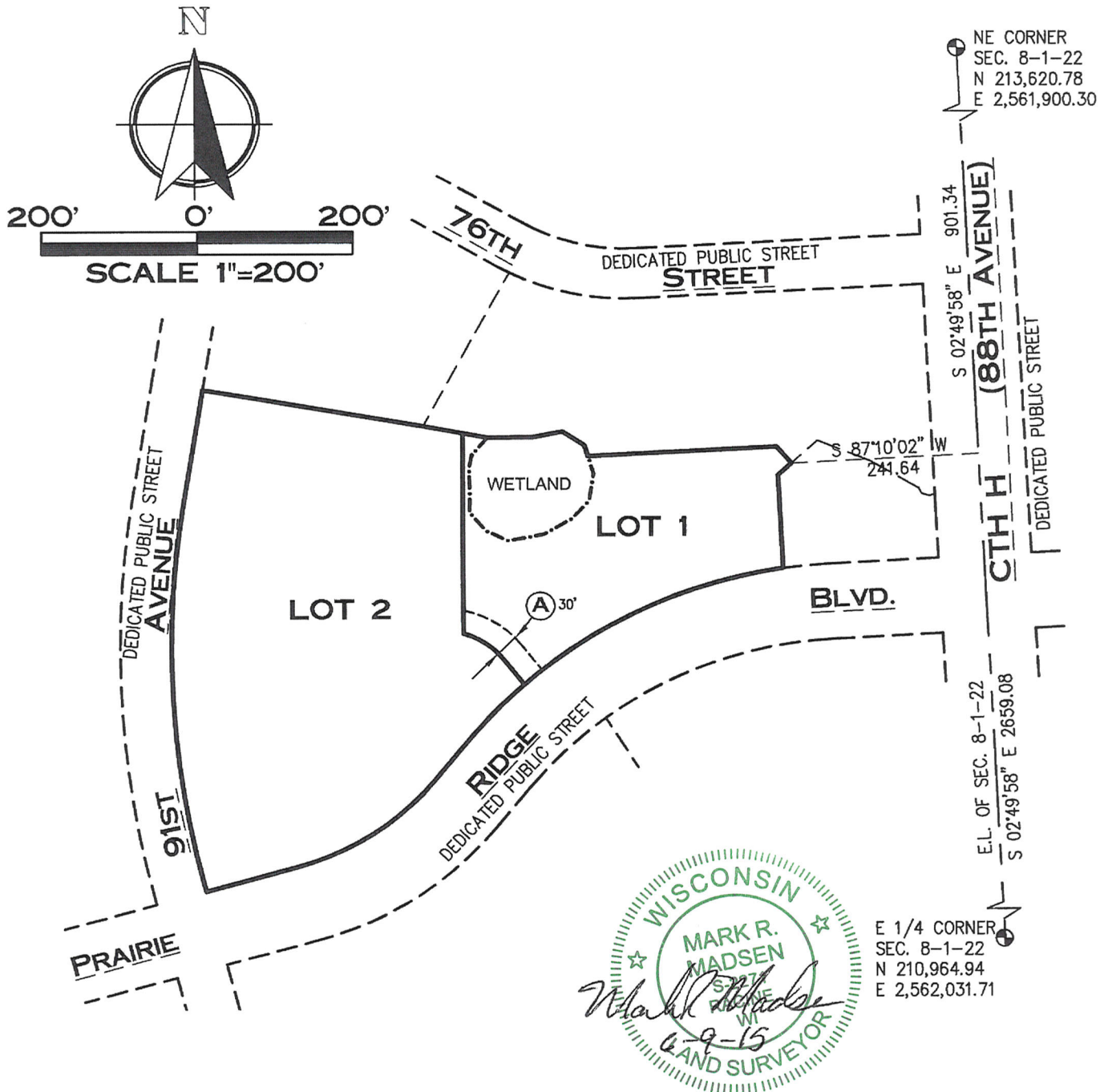
Date: June 9, 2015  
This Instrument was drafted by Mark R. Madsen  
PROJECT ID: 2013.0057.04



# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

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## DEDICATIONS AND EASEMENTS



### DEDICATED 30' WIDE INGRESS, EGRESS AND CROSS ACCESS EASEMENT (A)

Nonexclusive easement coextensive with the area shown as a Dedicated 30' Wide Ingress-Egress, Cross Access and Maintenance Easement on Lot 1 of this CSM is hereby dedicated, given, granted and conveyed by the Owner / Land Divider to the Owner(s) of Lots 1 and 2 and the Village of Pleasant Prairie ("the Village") for vehicular and pedestrian ingress, egress and cross access purposes. In the event of any conflict between the rights of the Owner, the rights of the Village and the rights of the Lot Owner(s) or other entities with respect to the Dedicated Ingress-Egress, Cross Access and Maintenance Easement, the Village's rights under the easement shall be deemed to be superior. Unless the Village exercises the rights granted to it hereunder with respect to the easement, the Village shall have no obligation to do anything pursuant to its rights under the easement. The Owner(s) of Lots 1 and 2 shall be responsible for all costs associated with the construction, snow plowing and maintenance of the shared "private access drive" within said easement and associated pavement and landscaping improvements.

Date: June 9, 2015  
 This Instrument was drafted by Mark R. Madsen  
 PROJECT ID: 2013.0057.04

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A REDIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2744 BEING PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 NORTH, RANGE 22 EAST, IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN.  
SURVEYOR'S CERTIFICATE

I, MARK R. MADSEN, Professional Land Surveyor, hereby certify:

THAT I have prepared this Certified Survey Map at the direction of the OWNER; THAT the exterior boundaries are described as the redivision of Lot 2, of Certified Survey Map No. 2744, being part of the Northeast 1/4 of the Northeast 1/4 of Section 8, Township 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin described as follows: Commence at a point on the East line of said Northeast 1/4 located S02°49'58"E 901.34 feet from the Northeast corner of said Section; thence S87°10'02"W 241.64 feet to the point of beginning of this description; run thence S48°16'30"W 23.34 feet; thence S02°59'24"E 122.37 feet to the Southwest corner of Outlot 16, Prairie Ridge Subdivision, a recorded plat and the Northerly right-of-way of Prairie Ridge Boulevard and a point on a curve of Northwesterly convexity whose radius is 650.00 feet and whose chord bears S61°01'05"W 462.22 feet; thence Southwesterly 472.57 feet along the arc of said curve and said Northerly right-of-way; thence S40°11'25"W 71.53 feet along said Northerly right-of-way to the point of curvature of a curve of Southeasterly convexity whose radius is 350.00 feet and whose chord bears S57°34'37.5"W 209.17 feet; thence Southwesterly 212.42 feet along the arc of said curve and said Northerly right-of-way; thence S74°57'50"W 122.48 feet along said Northerly right-of-way to the East right-of-way of 91st Avenue; thence N15°02'10"W 12.31 feet along said East right-of-way to the point of curvature of a curve of Westerly convexity whose radius is 1167.00 feet and whose chord bears N02°45'51"W 496.10 feet; thence Northerly 499.91 feet along the arc of said curve and said East right-of-way; thence N09°30'28"E 152.30 feet along said East right-of-way; thence S80°29'32"E 287.37 feet to the Southwest corner of Lot 1 of said Certified Survey Map No. 2744; thence S79°17'27"E 83.86 feet along the South line of said Lot 1; thence N89°30'22"E 58.57 feet along the South line of said Lot 1; thence N79°27'48"E 39.05 feet along the South line of said Lot 1; thence S58°03'46"E 33.49 feet along the South line of said Lot 1; thence S17°22'25"E 15.26 feet along the South line of said Lot 1; thence N87°10'02"E 243.52 feet along the South line of said Lot 1; thence S41°43'30"E 29.10 feet along the South line of said Lot 1 to the point of beginning. Containing 7.040 acres.

THAT said Certified Survey Map is a correct representation of all of the exterior boundaries of the land surveyed and the division thereof made and I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes and the Village of Pleasant Prairie Land Division and Development Control Ordinance.

June 9, 2015

  
Mark R. Madsen, S-2271  
Nielsen Madsen & Barber, S.C.  
1458 Horizon Blvd., Suite 200  
Racine, WI 53406  
(262) 634-5588



## OWNER'S CERTIFICATE OF DEDICATION

SB1 Pleasant Prairie WI, LLC, as Owner does hereby certify that it caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented on this Certified Survey Map and does further certify that this Certified Survey Map is required by s.236.34 to be submitted to the following for approval or objection: Village of Pleasant Prairie.

SB1 PLEASANT PRAIRIE WI, LLC

Signed: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

IN WITNESS WHEREOF, this \_\_\_\_ day of \_\_\_\_\_, 2015.

Witness: \_\_\_\_\_

Date: June 9, 2015

This Instrument was drafted by Mark R. Madsen

PROJECT ID: 2013.0057.04

SHEET 4 OF 5 SHEETS

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

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VILLAGE PLAN COMMISSION APPROVAL

Approved by the Village Plan Commission, Village of Pleasant Prairie on this \_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Thomas W. Terwall, Chairman

VILLAGE BOARD APPROVAL

Approved by the Village Board, Village of Pleasant Prairie on this \_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
John P. Steinbrink, Village President

Attest: \_\_\_\_\_  
Jane M. Romanowski, Village Clerk



- C. **PUBLIC HEARING AND CONSIDERATION OF SEVERAL ZONING TEXT AMENDMENTS** including amendments to Section 420-22 related to zoning permits required, time limits for zoning and sign permits; Section 420-24 related to certificate of occupancy; Section 420-64 related to approval or denial of a sign permit; Section 420-65 related to issuance of a sign permit and Section 420-69 related to the duration of a sign permit.

**Recommendations:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Text Amendment** as presented in the June 22, 2015 Village Staff Report.

## VILLAGE STAFF REPORT OF JUNE 22, 2015

**CONSIDERATION OF SEVERAL ZONING TEXT AMENDMENTS** including amendments to Section 420-22 related to zoning permits required, time limits for zoning and sign permits; Section 420-24 related to certificate of occupancy; Section 420-64 related to approval or denial of a sign permit; Section 420-65 related to issuance of a sign permit and Section 420-69 related to the duration of a sign permit.

*On March 23, 2015 the Village Board adopted Resolution #15-10 to initiate amendments to the Village Zoning Ordinance to re-evaluate and amend the Zoning procedures for zoning and sign permits related to submittal requirements, time limits and notification of approval and denial of both zoning and sign permits.*

The following amendments are proposed:

1. To amend section amend Section 420-22 A (1) related to Zoning Permit is required to for a driveway. In the past driveway permits were specified in the building code. This required has been relocated to the zoning Ordinance
2. To amend Section 420-22 J (2) (b) related to changing the time limits for zoning permits to from six (6) months to 12 months to coincide with building permits.
3. To amend Section 420-22 J (2) (e) related to changing the time limits for sign permits from 120 days to 12 months to coincide with the time frame for building permits.
4. To amend Section 420-24 C and D related has been modified to including Certificated of Compliance. This is a clarification since some projects are issued a Certificate of Occupancy and some projects are issued a Certificate of Compliance and to clarify that a verbal occupancy can also be referred to as a temporary occupancy. These changes will now make the Building Code and the Zoning Code terminology consistent.
5. To amend Section 420-64 A and B related to the approval or denial of sign permit application. The Amendment will required that the applicant be informed in writing, in writing by first class mail, email or by fax, only if the permit is denied.
6. To amend Section 420-65 related to the issuance of a sign permit to indicate that a permit shall be issued only upon payment of any sign inspection fees.
7. To amend Section 420-69 A related to changing the duration of a sign permit is valid from 120 days to 12 months to coincide with building permits.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Text Amendment** as presented.

ORD. NO. 15-\_\_\_\_

**ORDINANCE TO AMEND  
THE VILLAGE ZONING ORDINANCE (CHAPTER 420)  
RELATED TO ZONING PROCEDURES FOR ZONING AND SIGN PERMITS RELATED TO  
SUBMITTAL REQUIREMENTS, TIME LIMITS AND NOTIFICATION OF APPROVAL AND  
DENIAL OF BOTH ZONING AND SIGN PERMITS  
IN THE VILLAGE OF PLEASANT PRAIRIE, KENOSHA COUNTY, WISCONSIN**

**THE VILLAGE BOARD OF TRUSTEES OF THE VILLAGE OF PLEASANT PRAIRIE,  
KENOSHA COUNTY, WISCONSIN, DO HEREBY ORDAIN THAT THE FOLLOWING  
SECTIONS OF THE VILLAGE ZONING ORDINANCE RELATED TO FEES BE AMENDED  
AS FOLLOWS"**

1. **To amend Section 420-22 A (1) related to Zoning Permits required to read as follows:**
  - (1) Zoning permit. No person shall construct, place, move, park, enlarge, reconstruct, structurally alter or repair, or convert to a new use any building or structure, or any part of a building or structure, **or a driveway**, and no person shall commence any new or expanded use, or resume any prior use after a hiatus of more than one year, of any land, building, or structure, or any part of any building or structure, unless a valid zoning permit has first been issued, as required by this chapter, and such permit has neither expired nor been suspended or revoked.
2. **To amend Section 420-22 J (2) (b) related to time limits for zoning permits to read as follows:**
  - (b) All zoning permits for residential accessory structures shall expire within ~~six~~ **12** months of the issuance of said permit. The applicant may request that the permit be renewed, prior to the expiration, for an additional six months only after paying the required renewal fee. If said permit expires, the applicant shall reapply for a building and zoning permit before recommencing work on the structure. Any permit issued in conflict with the provisions of this chapter shall be null and void.
3. **To amend Section 420-22 J (2) (e) related to time limits for sign permits to read as follows:**
  - (e) All zoning permits for a sign shall automatically expire ~~120 days~~ **12 months** after the date of issuance of the permit, or, if a building permit is associated with the permit, said permit shall be automatically extended to match the expiration date of said building permit. After such right expires, or after the permit is revoked or voided, or while it is suspended, no work requiring such a permit shall be commenced, continued or resumed until after a new permit is issued or until after the original permit has been reinstated. A suspension of the permit tolls the remainder of such one-hundred-twenty-day period.
4. **To amend Section 420-24 C and D related to Certificate of Occupancy and verbal to occupy to read as follows:**
  - C. Certificate of occupancy **/Certificate of compliance**.
    - (1) Requirement. No person shall use or occupy any newly completed building or structure, and no person shall use or occupy any newly completed portion of any existing building or structure, unless a valid

certificate of occupancy **or certificate of compliance** has first been issued for such use or occupancy and such permit has neither expired nor been suspended or revoked. No person shall commence any new occupancy of any existing building or structure for any use other than a permitted residential use in a residential zoning district or a permitted agricultural use in any agriculture zoning district unless a valid certificate of occupancy has first been issued for such use or occupancy and such permit has neither expired nor has been suspended or revoked.

- (2) Preconditions. No certificate of occupancy **or certificate of compliance** shall be issued unless:
- (a) Valid zoning, building and erosion control permits or other required permits were issued for the project; and
  - (b) The project, as built, was completed in accordance with all applicable provisions of this chapter and of any orders, decisions, permits or other approvals made or issued pursuant to Village ordinances.

D. Verbal **or temporary** occupancy. To facilitate occupancy and prevent unnecessary hardship, the Zoning Administrator is authorized to issue a verbal **or temporary** occupancy with respect to any building or structure, or any part of a building or structure, for which valid permits have been issued, prior to completion of the building or structure, provided that such temporary occupancy will not jeopardize the safety, health, or public welfare of the occupants or the general public. The Zoning Administrator is authorized to impose as conditions upon the issuance of such verbal occupancy whatever temporary precautionary measures may be required to safeguard the public. No such verbal occupancy shall be construed as vesting in the applicant any right to receive a certificate of occupancy for a building or structure, or a part of a building or structure, unless it satisfies all requirements of this chapter, Chapter 370, Building and Mechanical Code, of the Village Code, or other ordinances that would be applicable to such building or structure in the absence of the verbal occupancy certificate or any activity conducted pursuant thereto.

5. **To amend Section 420-64 A and B related to the approval or denial of sign permit application to read as follows:**

- (A) As soon as practicable after a sign permit application is complete, the Zoning Administrator shall approve or deny it. The Zoning Administrator, **or his/her designee**, shall have authority to impose any conditions reasonably based upon the requirements of this article. The Zoning Administrator, **or his/her designee**, shall promptly notify the applicant of the approval **and any conditions of approval. If denied, the Zoning Administrator shall notify the applicant** ~~or denial~~ in writing by first class mail, **email** or by fax and state in such notice the reasons for any denial ~~and any conditions of approval~~.
- (B) As soon as practicable after a sign special exception application is complete, the Zoning Administrator, **or his/her designee**, shall approve or deny it and state in its decision the reasons for any denial, any findings it is required to make to approve the application, and any conditions of its approval. The Zoning Administrator shall have authority to impose any conditions

reasonably based upon the requirements of this article and any conditions which it reasonably determines are necessary for it to make any required findings. The Zoning Administrator, **or his/her designee**, shall promptly notify the applicant of the approval **and any conditions of approval. If denied, the Zoning Administrator shall notify the applicant** ~~or denial~~ in writing by first-class mail, **email** or by fax and state in such notice the reasons for any denial ~~and any conditions of approval~~.

6. **To amend Section 420-65 related to issuance of a sign permit to read as follows:**

~~With the notice of permit approval pursuant to § 420-64 above, the Village Zoning Administrator shall also promptly notify the applicant in writing by first class mail or by fax of the procedure for issuance of the permit.~~ A permit shall be issued only upon payment of any sign inspection fees provided for in or by this chapter.

7. **To amend Section 420-69 A related to the duration of a sign permit to read as follows:**

- A. The right to install, construct or modify a sign pursuant to a sign permit or a sign special exception permit shall automatically expire ~~120 days~~ **12 months** after the date of issuance of the permit. After such right expires, or after the permit is revoked or voided, or while it is suspended, no work requiring such a permit shall be commenced, continued or resumed until after a new permit is issued or until after the original permit has been reinstated. A suspension of the permit tolls the remainder of such one-hundred-twenty-day period.

**Adopted this \_\_\_\_ day of \_\_\_\_\_, 2015.**

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

\_\_\_\_\_  
John P. Steinbrink  
Village President

\_\_\_\_\_  
Jane M. Romanowski  
Village Clerk

Posted: \_\_\_\_\_

\_\_\_-zoning procedures amend